

# Public Document Pack



## LOCAL REVIEW BODY MONDAY, 21 SEPTEMBER 2020

A MEETING of the LOCAL REVIEW BODY will be held on MONDAY, 21 SEPTEMBER 2020 at 10.00 am. The meeting will be conducted remotely by Microsoft Teams live event.

Arrangements are in place to stream the meeting for public viewing. Further information and a link will be provided on the Council's website before the meeting.

J. J. WILKINSON,  
Clerk to the Council,

11 September 2020

<b>BUSINESS</b>		
1.	<b>Apologies for Absence.</b>	
2.	<b>Order of Business.</b>	
3.	<b>Declarations of Interest.</b>	
4.	<p><b>Consider request for review of refusal of application for erection of 15 no huts with associated access and car parking on land E of Wester Deans West Linton. 19/01256/FUL. 20/00019/RREF.</b></p> <p>Copies of the following papers attached:-</p>	
	(a) <b>Notice of Review</b>	(Pages 3 - 34)
	(b) <b>Decision Notice</b>	(Pages 35 - 38)
	(c) <b>Officer's Report</b>	(Pages 39 - 44)
	(d) <b>Papers referred to in Officer's Report</b>	(Pages 45 - 74)
	(e) <b>Consultations</b>	(Pages 75 - 88)
	(f) <b>General comment</b>	(Pages 89 - 90)
	(g) <b>List of policies</b>	(Pages 91 - 96)
5.	<p><b>Consider request for review of refusal of application for siting of 3 No glamping pods and associated works on land SW of Stouslie Farmhouse, Hawick. 20/00343/FUL. 20/00021/RREF.</b></p>	

	Copies of the following papers attached:-	
	(a) <b>Notice of Review</b>  Including:-  Officer's Report - page 217 Decision Notice - page 224	(Pages 97 - 226)
	(b) <b>Consultations</b>	(Pages 227 - 234)
	(c) <b>List of Policies</b>	(Pages 235 - 240)
6.	<b>Any Other Items Previously Circulated</b>	
7.	<b>Any Other Items which the Chairman Decides are Urgent</b>	

**NOTE**

Members are reminded that, if they have a pecuniary or non-pecuniary interest in any item of business coming before the meeting, that interest should be declared prior to commencement of discussion on that item. Such declaration will be recorded in the Minute of the meeting.

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**Membership of Committee:-** Councillors S. Mountford (Chair), A. Anderson, J. A. Fullarton, S. Hamilton, H. Laing, C. Ramage, N. Richards and E. Small.

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Please direct any enquiries to Fiona Walling 01835 826504  
email [fwalling@scotborders.gov.uk](mailto:fwalling@scotborders.gov.uk)

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**NOTICE OF REVIEW**

UNDER SECTION 43A(8) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED) IN RESPECT OF DECISIONS ON LOCAL DEVELOPMENTS

THE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE) (SCOTLAND) REGULATIONS 2013

**IMPORTANT: Failure to supply all the relevant information could invalidate your notice of review.**

Use **BLOCK CAPITALS** if completing in manuscript

Applicant(s)		Agent (if any)	
Name	Jess Windsor	Name	Richard Heggie
Address	Flat 12 11 Westfield Road Edinburgh	Address	Urban Animation 22 Westhall Gardens Edinburgh
Postcode	EH11 2QS	Postcode	EH10 4JQ
Contact Telephone 1		Contact Telephone 1	07751 064 937
Contact Telephone 2		Contact Telephone 2	
E-mail*		E-mail*	richard@urban-animation.com
Mark this box to confirm all contact should be through this representative: YES			

Yes

\* Do you agree to correspondence regarding your review being sent by e-mail? YES

Planning authority Scottish Borders Council  
 Planning authority's application reference number 19/01256/FUL  
 Site address North Cloich Woodland, Land East of Wester Deans  
 By Lamancha, West Linton  
 Description of proposed development Erection of 15 No. Woodland Huts  
 with Associated Access and Car Parking

Date of application 2 September 2019 Date of decision (if any) 7 May 2020

**Note:** this notice must be served on the planning authority within three months of the date of the decision notice or from the date of expiry of the period allowed for determining the application.

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**Nature of application**

- 1. Application for planning permission (including householder application)
- ~~2. Application for planning permission in principle~~
- ~~3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition)~~
- ~~4. Application for approval of matters specified in conditions~~

**Reasons for seeking review** (tick one box)

- 1. Refusal of application by appointed officer
- ~~2. Failure by appointed officer to determine the application within the period allowed for determination of the application~~
- ~~3. Conditions imposed on consent by appointed officer~~

**Review procedure**

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions; and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

- ~~1. Further written submissions~~
- ~~2. One or more hearing sessions~~
- 3. Site inspection
- 4. Assessment of review documents ~~only, with no further procedure~~

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

Sorry, I'm not clear on what this means. An appeal statement accompanies this Request Form and that should cover the Applicant's case in conjunction with the Application documents. Site visit also suggested.

**Site inspection**

In the event that the Local Review Body decides to inspect the review site, in your opinion:

Yes

- 1. Can the site be viewed entirely from public land?
- 2. Is it possible for the site to be accessed safely, and without barriers to entry? YES

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here: NONE

**Statement**

You must state, in full, why you are seeking a review of your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

**See attached Appeal Statement**

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

~~Yes~~ No

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

**List of documents and evidence**

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. Note: there will be no opportunity to submit further documents to accompany this notice of review.

It is assumed that LRB Members will have sight of all application documents (please confirm if that is not the case).

Attached supporting documents of relevance are:

- Applicant's Supplementary Statement and Key Plan
- Landscape Proposals agreed with Council Landscape Architect (not posted by Planning Dept on website)

Note: the planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

**Checklist**

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

- Full completion of all parts of this form
- Statement of your reasons for requiring a review
- All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note: where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

**Declaration**

I the applicant/agent [delete as appropriate] hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

Signed  Date 4 AUGUST 2020

**The completed form should be returned to the Clerk of the Local Review Body, Democratic Services, Scottish Borders Council, Council Headquarters, Newtown St. Boswells TD6 0SA or sent by email to [localreview@scotborders.gov.uk](mailto:localreview@scotborders.gov.uk)**

## LRB APPEAL STATEMENT

### Erection of 15 No huts with associated access and car parking

North Cloich Woodland  
Land East Of Wester Deans  
by Lamanca, West Linton

Ref 19/01256/FUL

#### 1. Introduction

1.1 This short Statement reviews the key points relating to the delegated Application decision and the Reasons for Refusal set out by the Planning Officer.

1.2. **This Statement is the key document in the Appeal.** Further important detail is provided in the Applicant's Supplementary Statement and Key Plan submitted as Application documents.

1.3 The development has been refused on the basis that it is impossible to create a suitable landscaping scheme at this site. The Planning Officer suggests trees will not grow here, yet a fully mature commercial forestry crop was harvested on this site 10 years ago. A typical landscaping Condition has been applied to Planning Permission for various other local developments in recent times.

1.4 Restricted access to active travel and public transport is given as a second reason for refusal, yet other developments approved locally in recent times are more remote from bus services and paths. Active travel and bus provision falls well within published Scottish Government standards for rural development.

1.5 **The Planning Department has applied very different standards to this Application, beyond what has been required of other developments in the area. The Applicant seeks only a fair assessment of the proposals.**

#### 2. Key Planning Issues

2.1 The Report of Handling notes that the proposal is acceptable in principle under the terms of LDP Policy ED7, relating to Business, Tourism and Leisure in the Countryside, as it is a use requiring a countryside location. It also confirms that the proposals are consistent with Scottish Planning Policy 2014, which defines hutting.

2.2 Having established this principle, the Report of Handling focuses on two key planning considerations:

- visual impact on the landscape
- access by walking, cycling and public transport.

These two matters are given as Reasons for Refusal of the Planning Application.

2.3. There are examples of traditional hutting sites locally at Eddleston, Carlops and Soonhope by Peebles, although these are of a different character to the Application proposals. These hut communities were constructed in the early 20th century by miners in Midlothian, as an escape from industrial life.

2.4. The modern hutting movement in Scotland has been promoted by Reforesting Scotland's 1000 Huts campaign. It seeks to reconnect people with nature by creating woodland-based opportunities for off-grid recreational huts, constructed from local timber. Hutterers will spend time in natural surroundings, playing an active role in woodland management. The huts will be owned by individual families or friends and will not be available for commercial rental.

2.5. In the post-covid 19 era, hutting provides a desirable option for those seeking to spend leisure time close to home, in natural surroundings, with benefits for health and wellbeing.

### **3. Reason for Refusal 1 - Visual Impact on the Landscape**

3.1. The first Reason for Refusal refers to LDP Policy PMD2, relating to Quality Standards for development. Criteria f) of this policy notes that development proposals should incorporate landscaping works to integrate them into their surroundings. It states:

“In some cases agreements will be required to ensure that landscape works are undertaken at an early stage of development and that appropriate arrangements are put in place for long term landscape/open space maintenance”.

3.2 This is entirely reasonable. It is an approach applied by Planning Authorities across Scotland. In granting planning permission, Scottish Borders Council will often attach a Condition requiring further approval of landscaping works, which must then be undertaken in conjunction with the development.

3.3 In this case, the Council's Landscape Architect (Siobhan McDermott) was consulted on the Application. She had no objection but suggested additional tree planting should be provided to integrate the development into the landscape. She set out a typical Condition, to be attached to the grant of planning permission in the usual manner.

3.4 The Landscape Architect also helpfully provided recommendations for a planting plan, including suggested species. This information was used, through positive dialogue between the Applicant and the Council's Landscape Architect to prepare initial landscaping proposals. These proposals were then finalised and agreed through further dialogue with the Council's Landscape Architect. The agreed proposals were submitted to the Planning Officer (Ranald Dodds) but no comments were received in response and they have still not been posted on the Council's online planning file. The Applicant is happy to make further adjustment to these proposals if that is deemed appropriate.

3.5 Setting aside the Landscape Architect's expert advice, the Planning Officer stated in the Report of Handling that it would be impossible to establish new planting at this site within a reasonable time period, despite the fact that it has recently been entirely covered by trees as part of a commercial woodland plantation. New woodland is already re-established over one third of the woodland and site, with regeneration now taking hold over the remaining area.

3.6 Reason for Refusal 1 states that the development would result in a visual impact which would not be compatible with the character of the surrounding area. This matter had been addressed by the Applicant in a Supplementary Statement and Key Plan. These documents note the following points:

- The landscape surrounding the site has no protective designations.
- The site is distant from the few residential properties in the area.
- The nearest road running some distance to the east and south of the site carries very little traffic.
- Views into the site are distant, limited in many places by trees, woodland and field/ditch embankments.

3.7 The documents also note that the surrounding area is characterised by a number of large scale developments, many of which have buildings or features which are or will be visible in the surrounding landscape. These include:

- A large number of industrial-scale egg production sheds (one of them clearly visible from the site)
- The Cowieslinn Quarry, extending to approximately 85 hectares to the south east of the site.
- Remnants of a string of 65 former ammunition buildings located to the north east of the site.
- Planning permission to the south for an 18 turbine wind farm, currently subject of a new scoping exercise.

3.8 There are also numerous large agricultural buildings in the surrounding area.

3.9 Recently, the Local Review Body has approved the development of two new houses to the west of the site at Cowdenburn Cottages and a vehicle body repair workshop a short distance to the north west of the Application site.

3.10 For all recent and proposed developments approved in the surrounding area, the typical landscaping Condition has been attached to the Planning Permission, ensuring adequate new planting is provided. This applies to the industrial-scale egg shed buildings just as it applies to the houses and workshop.

3.11 The Planning Officer has deemed that the hutting proposal is singularly unsuitable for approval with this same Condition attached. As noted above, a suitable landscaping plan had already been agreed with the Council's Landscape specialist.

3.12 The Applicant does not expect a relaxation of typical Scottish Borders Council planning requirements. However, it is fair to expect that the same balanced and reasonable assessment should be applied to all planning applications. This application has no features meriting a different approach to landscaping than others which have been approved by the Planning Department or the Local Review Body in the surrounding area. **The standard landscaping Condition should have been attached to a grant of Planning Permission.**

3.13 Finally on this matter, LRB members are requested to note that pre-application advice was sought by the Applicant on this proposal. The Planning Officer then in post (Dorothy Amyes) noted that planting of trees would resolve any potential visual issue but also stated in regard to the small timber buildings proposed, "Even if they were visible, it is not a particularly sensitive location visually". This opinion matches the specialist advice from the Council's Landscape Architect.

#### **4. Reason for Refusal 2 - Walking, Cycling and Public Transport**

4.1 The second Reason for Refusal refers to LDP Policy PMD1, relating to Sustainability of development. Criteria g) of this policy notes that development proposals should encourage walking, cycling and public transport in preference to the private car. This again is entirely reasonable and is an approach applied by Planning Authorities across Scotland.

4.2 In this case, the Council's Roads Planning Officer was consulted on the Application. He raised no issue with options for walking, cycling or bus services for the development.

4.3 The Applicant's Supplementary Statement and Key Plan address these matters. They note the availability of regular bus services with 4 bicycle spaces per double decker running at the A703 to the east of the site. This 'Hail and Halt' service will stop conveniently for foot and cycle passengers at two separate rights of way (BT4 and BT5) marked on the Council's adopted Core Path Plan. These safe routes providing connections to the Application site are well within published Scottish Government guideline distances for pedestrian and cycle trips in rural areas, as stated clearly in the Supplementary Statement. Scottish Borders Council has accepted these guideline distances in

granting Planning Permission for other developments in the area (for example, a hotel at the outer edge of West Linton, approved in April 2018, ref. 16/01526/FUL).

4.4 From the end of both rights of way, pedestrians would use a short stretch of wide grass road verge over the final 300-350 metres to connect to off road woodland paths adjacent to the site. Cyclists would use the road, as they would elsewhere. There is clear forward visibility along this stretch of road.

4.5 The Environmental Statement, Vol.1 - Written Statement, for the adjacent Cloich Forest Wind Farm project, notes that this road carries limited traffic flow even during morning and evening peak periods. Due to the sparse traffic recorded on this route, it is not even included in the transport assessment for the Cloich Forest Wind Farm project, despite being adjacent to the Wind Farm site.

4.6 A review of Planning Permissions for other rural developments in the surrounding area indicates that accessibility for pedestrians, cycling and bus services has not been a determining factor.

4.7 Neither the Planning Officer Report of Handling or Refusal nor the Local Review Body Approval of the two houses at Cowdenburn (ref. 18/01469/PPP) raise issues over walking, cycling or public transport access. These houses would need to use the same rights of way and bus services that provide access to the hut Application site (there are no bus services on the A701). However, they are significantly further away - residents of these houses would need to walk an additional 1.8km on winding single track road and the A701, with no footpaths and narrow verges over much of the route.

4.8 Again, neither the Planning Officer Report of Handling or Reasons for Refusal, nor the Local Review Body Approval, for the vehicle body repair workshop (ref. 16/01174/FUL and 19/00272/AMC) raise issues over walking, cycling or public transport access. And again, this development would use the same rights of way and bus services as the hut Application site, requiring pedestrians to use the grass road verge over a longer distance of 420 metres.

4.9 The Supplementary Statement also discusses trip generation for the hut development by private car and active modes of transport. It finds that the hut development would generate less annual traffic than the two houses approved by the Local Review Body at Cowdenburn.

4.10 **Given that the hut Application site has better access to paths and bus services than these two developments, and generates very limited traffic, it is entirely unfair to refuse Planning Permission on this basis.**

4.11 Finally on this matter, LRB members are requested to note that the Report of Handling incorrectly suggests that 32 car parking spaces are proposed. The Application form and the design Statement clearly state that 15 spaces will be provided, one for each hut. The Council's Roads Officer accepts this as adequate provision. The area indicated for parking on the Site Plan allows room for trees to be planted between small groups of parking spaces, integrating this area into the woodland.

## 5. Community Engagement

5.1 Community engagement has been undertaken locally to provide information on the proposed hunting development and gather feedback. Posters were displayed in Eddleston, West Linton, Penicuik, Peebles and at the site, making people aware of the proposals and inviting local people to a site meeting.

5.2 The site meeting held in late July was attended by one local family from Whim, one local individual from Eddleston who responded positively to the proposed development. The meeting

was also attended by a couple who are local farmers, who noted farming related concerns regarding uncontrolled dogs and fly tipping. Hutterers will be required to follow a strict Code of Conduct which will include conditions regarding control of dogs. Activity at the hutting site may well deter some individuals from fly tipping on the Application site and in the surrounding area. The Code of Conduct will also specifically control amenity, with restrictions on noise, litter and respect for neighbours.

5.3 A website has been created, providing information on the site and the planning application case. This can be viewed at:

<https://northcloichwoodland.weebly.com>

5.4 A Facebook page has also been posted, to enable local people to find information on the proposals and to provide comment. This has attracted good traffic, with 80 views in the first week and 20-30 views in each of the following weeks. Information was also made available on the Eddleston and West Linton Facebook pages.

5.5. A very small number of people have noted objections to the proposal or raised questions online and responses have been made by the Applicant clarifying the nature of the development and explaining how the site will operate. Questions related to a range of matters such as:

- where hutterers will park
- concerns over toilet waste
- odours from the egg sheds to the north east

Provision for parking is made within the site and toilet waste will be managed using dry composting toilets in each hut. The Council's Roads Officer and Environmental Health Officer have confirmed these provisions are acceptable. The Applicant has owned the woodland for several years and has visited regularly. There has been no odour evident from the egg sheds at any point. Most of the sheds lie at least one mile to the north and north east, away from the prevailing wind direction.

5.6 A significantly larger number of local people have expressed support for the development. Comments include:

"I feel there are many benefits to be had from these plans and can see very few drawbacks. In particular, I see no negative visual impact from small huts, which will be obscured within a few years by tree growth, in an area with very few people living, and can only see positive benefits for the local economy in terms of potential trade and by introducing much-needed biodiversity to the area."

"The community of Eddleston have recently been asked to take part in a survey of what matters for them in the community and identify priorities of action. It was clear from the results that the community were in favour of a shop, and the proposal could further support the possibilities of a shop opening within the village."

"Hutting and being in nature is what people need more than ever in these trying times. Not only do those who own huts benefit, but those who visit them are often inspired by the simplicity, respect of nature and the ways of living promoted by hutting."

"This sounds like a great plan. Anything that involves native tree planting and habitat creation gets my vote. This area is so beautiful but the egg farms and peat extraction are so damaging for the environment."

"We had a walk up there last week - a lovely place to visit. I would imagine these huts would be less visually intrusive than the other structures in the area."

## 6. Conclusions

6.1 Assessment of the Planning Application has not been undertaken on an equitable basis.

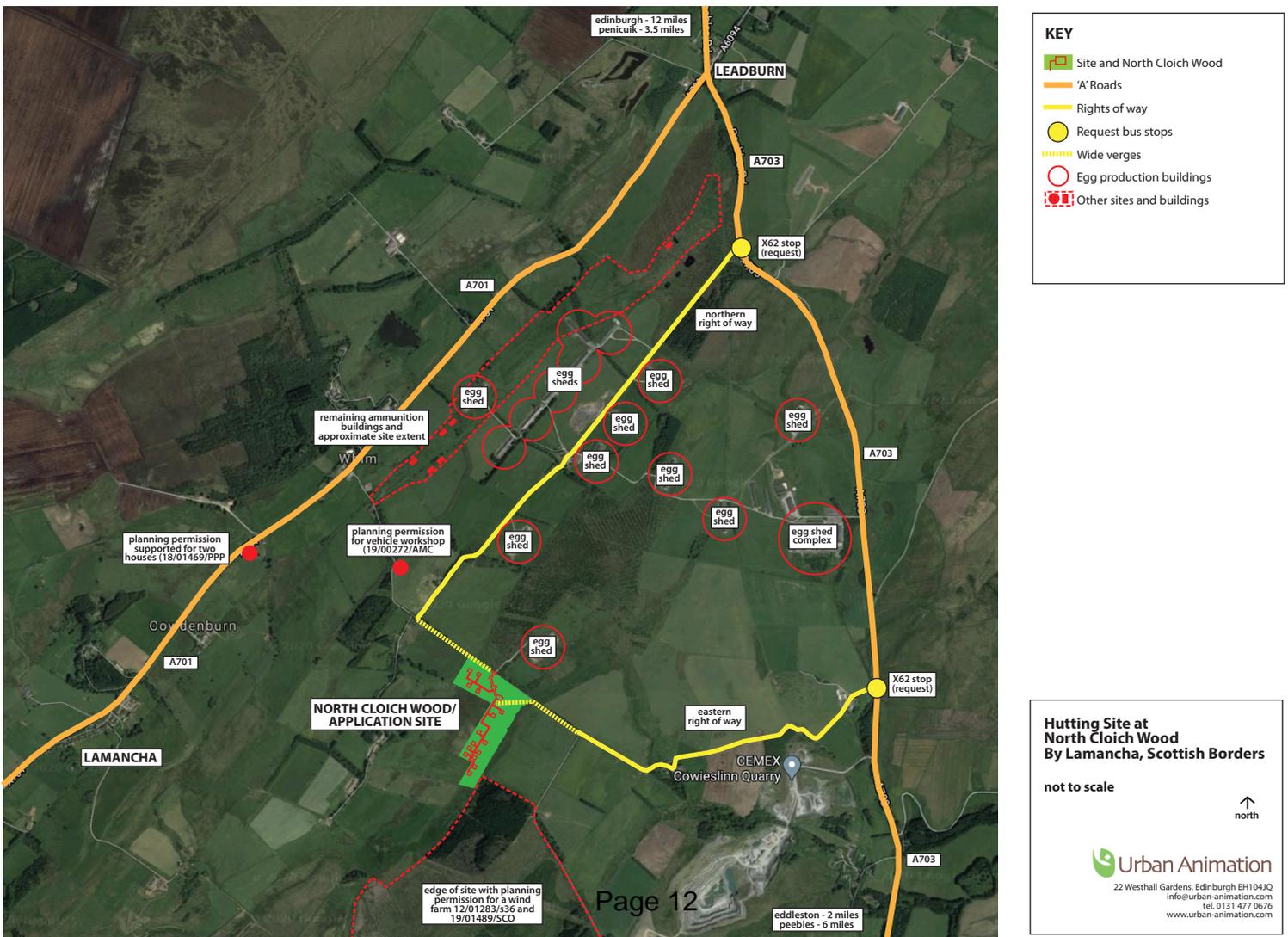
6.2 An unreasonable and excessively stringent requirement for landscaping is unfair. The huts are small structures finished in natural timber which will weather quickly to blend with the landscape. New planting will soon screen views of the huts and in a few years they will not be visible at all. Locally, the large egg sheds, agricultural buildings, wind turbines, quarry and other rural buildings will all remain visible.

6.3 Access to bus services and active travel options meets Scottish Government guidelines and is more convenient than for other local developments granted Planning Permission in recent times.

6.4. The Local Review Body is requested to grant Planning permission for the Application, restoring consistency and parity to the interpretation of planning policy for rural development.

Prepared by  
**Richard Heggie**  
 Director, Urban Animation  
 for and on behalf of Jess Windsor

4 August 2020



# SUPPLEMENTARY STATEMENT

## 19/01256/FUL

Erection of 15 No huts with associated access and car parking  
Land at North Cloich Wood, East Of Wester Deans, West Linton, Scottish Borders

### 1. Introduction

1.1. This Supplementary Statement has been provided following discussions with the application Case Officer, Ranald Dodds. It clarifies a number of matters relating to the proposals and the site, to enable planning permission to be concluded.

1.2 In summary, it highlights that:

- Active travel options for walking and cycling meet Scottish Government Guidelines
- External storage of materials can be controlled by a typical SBC planning condition
- Woodland and screen planting will exceed standards applied by SBC to other developments
- Drinking water will be brought to site by hutters in the same way that Scotland's bothies operate

1.3. Scottish Borders Council does not have a policy directly relating to hutting developments. However, as a use 'directly for leisure, recreation or tourism appropriate to a countryside location', it complies in principle with the most relevant LDP Policy ED7.

### 2. Points of Clarification

2.1. Four matters requiring clarification have been identified:

#### a. Public Transport and Active Travel

2.2 There are two established public rights of way providing safe access to North Cloich Wood and the hutting site. Both are indicated on the Council's Core Paths Map. Both provide connections from main Scottish Borders bus routes.

2.3 Regular X62/X70 bus services run on the A703 to the north and east of the site. Borders Buses has confirmed that the regular X62 route is a 'Hail and Ride' service enabling passengers to request a stop or pick up at any location outwith 30mph speed limit areas. Hutters can embark or disembark adjacent to the right of way at the A703 junction a short distance to the north of Cowieslinn Quarry, on the eastern side of the site.

2.4 The second right of way can also be directly accessed from X62 services, from the lay-by at the Leadburn Community Woodland, to the north of the site. The walking distance to the North Cloich Wood is approximately 2.9km

2.5 The shorter path connection is from the eastern right of way, a walking distance of approximately 2.1km to the North Cloich Wood. The Scottish Government's 'Transport Assessment Guidance' (para 5.21) states that journey times of up to 20-30 minutes are appropriate for walking to new developments. The CIHT's 'Guidelines for Providing Journeys On Foot' adopts a widely used standard of 1.4m/sec walking speed for calculating trip time. At 1.4m/sec, the walk from the eastern bus halt would take a little under 26 minutes, well within the Scottish Government's Guidance standard.

2.6 Borders Buses has confirmed that four bicycle bays are available on regular double decker X62 bus services. Cyclists making use of bike bays on the X62 bus service would reach the North

Cloich Wood in less than eight and a half minutes, using the eastern right of way. The Scottish Government Guidance states that journey times of up to 30-40 minutes are appropriate for cycling to new developments. At the CIHT's 16km/hour standard cycling speed, Eddleston,

Penicuik, West Linton and Peebles can all be reached within the Scottish Government Guidance 40 minute cycle time.

2.7 The X62/X70 bus routes runs from central Edinburgh through the Scottish Borders to Melrose, ensuring wide and regular services close to the site. Reforesting Scotland notes that Hutters generally live within relatively short travel distance of their hut.

2.8 The trip time figures and calculations used here are consistent with those used in support of other planning applications approved by Scottish Borders Council in the local area.

2.9 Research undertaken in Norway by Prognosesenteret suggests huts are typically used on average for 60 days per year (as noted in the Design Statement for the planning application, Norway has a long-established and very extensive hutting culture). Use occurs predominantly over the April-October period, when weather conditions, temperature and daylight are most conducive to active travel. 15 huts each used for 60 days generates 900 days of use across the year. Stays may vary in length: being off-grid, long stays would be atypical.

2.10 One day visits would generally result in a same-day return journey (ratio 1 return trip/stay). Overnight stays would typically also result in one return journey, with arrival one day and return the following day (ratio 0.5 return trips/stay). Two night stays will generate a return journey on days one and three and may include one further local journey (eg. to a grocery shop or other service) during the stay (ratio 0.65 return trips/stay). It is anticipated that most visits will include an over night stay, whilst some will be same day trips and others two or more nights.

2.11 The following total return trip numbers can be anticipated:

Total days use	Visit length	% trips	Days	Trip ratio	Trips
<b>900</b>	Same day	20%	180	1	180
	Overnight	50%	450	0.5	225
	Two nights +	30%	270	0.65	175
<b>Total Journeys</b>					<b>580</b>

2.12 Assuming 15% active travel/bus trips, the total number of return car journeys annually would be in the region of **490-500**. Industry-standard trip ratios for private houses range from 2.5-3.0 return car journeys per day. Rural houses would generate trips at the top of this range. At the lower end of the scale, annual return car journeys from a rural family house would amount to:

$$2.5 \text{ trips per day} \times 365 \text{ days} = \mathbf{912.5} \text{ return car journeys p.a.}$$

2.13 Even allowing for significantly more regular use of the huts than is anticipated, the total number of car journeys for the 15 huts combined would be much lower than those generated by a single rural house. In recent times, Scottish Borders Council has approved numerous single family houses in the surrounding countryside.

2.14 The most recent houses approved locally are at Cowdenburn Cottages approximately 1.5km to the north west of the hutting site. Application 18/01469/PPP was granted Planning Permission in Principle in July 2019 by the Local Review Body for two houses. The Report of Handling and LRB Decision Notice show that neither the Planning Officer nor the LRB gave any specific

consideration to the accessibility of these houses by public transport or off-road paths. Each of the houses will generate significantly more car journeys than the hutting development. Both will lie outwith the Scottish Government's recommended walking times of 20-30 minutes.

2.15 The Council's Transportation Officer has raised no concerns regarding accessibility, road capacity, active travel or public transport services relating to the application.

#### b. External Storage of Materials

2.16 One comment has been submitted in response to the application by a resident of Eddleston, concerned that there is some external storage of materials at the traditional hutting site to the south of the village.

2.17 External storage of materials can be controlled by planning condition. This type of condition is frequently used in the Scottish Borders and throughout the country. Locally, this has been done with a recently approved vehicle body repair workshop located a short distance to the north west of the hutting site (16/01174/FUL and 19/00272/AMC)

2.18 The likelihood and potential impact of external storage at a hutting site is considered to be low. Furthermore, much of the site is already well screened by trees and the remainder will be equally well screened within a short period of time.

#### c. Woodland and Screen Planting

2.19 Following clear felling of a commercial timber crop by Forestry and Land Scotland some years ago, regeneration of the northern part of the North Cloich Wood as a mixed woodland is well established. Over the south of the site, regeneration has been slower. A planting plan to support woodland regeneration at the south of the site has been agreed with the Council's Landscape Officer Siobhan McDermott. As the new planting establishes, the huts will no longer be visible from outwith the site. Some new planting (willow) has already been provided in the last two weeks making use of the current planting season.

2.20 The landscape surrounding the site has no protective designations. The site is distant from the few residential properties in the area. The nearest road running some distance to the east and south of the site carries very little traffic. Views into the site are distant and are limited in many places by existing trees, woodland and field/ditch embankments.

2.21 A review of developments recently granted planning permission in the area indicates that most have proposals for new planting, controlled by planning conditions. ***None of these conditions requires the development to be fully screened before the building can be constructed.*** This includes the vehicle body repair workshop to the north west.

2.22 To the north of the site, a large number of industrial-scale egg production sheds have been erected over a number of years. Some of these buildings are clearly visible in the local landscape, including one located less than 200 metres from the North Cloich Wood. Many are clearly visible from the northern right of way and a significant part of the development is visible from the A703. Some have had bunding and planting in place for several years but are still clearly visible in the landscape due to their large size.

2.23 To the north west of the site, the local landscape also features a number of free-standing older buildings dating to the mid-20th century. These formed part of a string of approximately 65 buildings located along a former rail corridor stretching from Mitchell Hill in the north to Whim Farm in the south. They were used as wartime ammunition stores.

2.24 The Cowieslinn Quarry occupies a site of perhaps 85 hectares to the south east of the hutting site. Parts of that development are visible from the A703. Planning permission has also previously been granted for an 18 turbine wind farm at Cloich Hill (12/01283/s36) and an amended wind farm proposal is the subject of a current scoping exercise with the Council (19/01489/SCO).

2.25 The hutting development will have a minor impact in the landscape over a short period. With implementation of the agreed landscaping plan, controlled by a standard planning condition used in most other developments in the Scottish Borders, it will soon be entirely screened from surrounding views. Other local developments and existing buildings at all scales will remain partially or largely visible locally and in some cases more widely.

#### d. Water Supply

2.26 No on-site water supply is proposed. Hutterers will typically bring bottled water to the site for drinking and may make use of 'grey' water collected on site for other requirements. Drinking water can be brought to site by foot, in bicycle panniers or by car (and could be stored in the hut for future use).

2.27 Modern hutting is typically 'off-grid'. A lack of mains water and other services or wet drainage ensures low impact and enables the development to be easily removed from site should the hutting use cease. The lack of services ensures the hut is not suitable for residential or long term overnight use.

2.28 Wild campers and walkers using bothies would expect to enjoy these well-established outdoor pursuits without a local water supply.

### **3. Conclusions**

3.1 The proposed development requires a rural site. Numerous other developments have been approved locally in recent times, with appropriate planning conditions controlling the visibility of buildings and operational aspects of site use. There are no apparent features of the proposed hutting development which merit a stricter level of control than these other developments which also require a rural location.

3.2 The hutting use will generate less travel than other uses deemed appropriate for rural sites, including single houses. There are active travel options available, meeting Scottish Government recommended journey times.

3.3 It is requested that planning permission is now granted for the development as proposed, including the landscape planting proposals agreed with the Council's Landscape Architects.

**Richard Heggie, Director**  
Urban Animation

24 March 2020

**Tree Coverage Proposals**

There are approximately 380 trees spread across the area shown green.

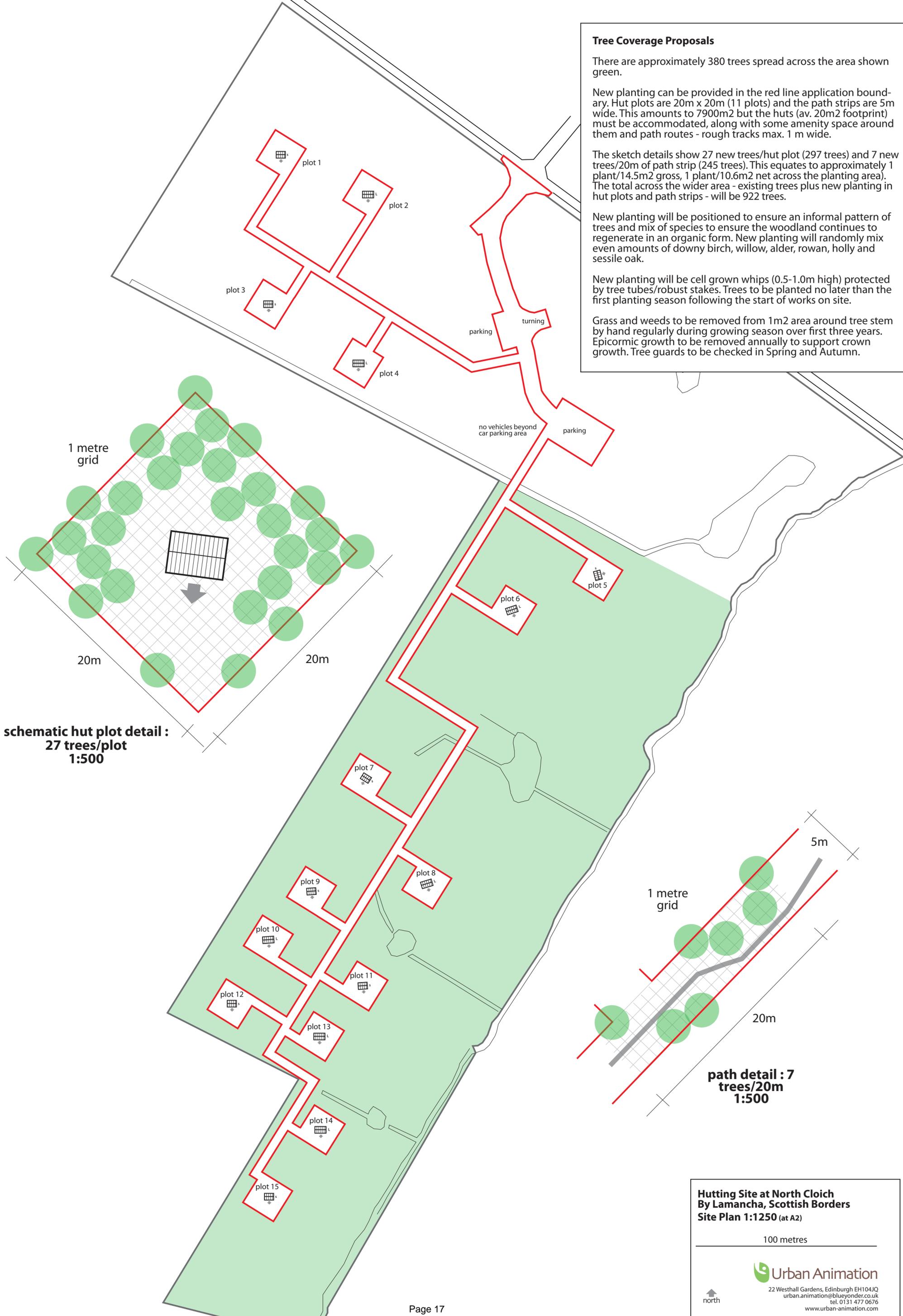
New planting can be provided in the red line application boundary. Hut plots are 20m x 20m (11 plots) and the path strips are 5m wide. This amounts to 7900m<sup>2</sup> but the huts (av. 20m<sup>2</sup> footprint) must be accommodated, along with some amenity space around them and path routes - rough tracks max. 1 m wide.

The sketch details show 27 new trees/hut plot (297 trees) and 7 new trees/20m of path strip (245 trees). This equates to approximately 1 plant/14.5m<sup>2</sup> gross, 1 plant/10.6m<sup>2</sup> net across the planting area). The total across the wider area - existing trees plus new planting in hut plots and path strips - will be 922 trees.

New planting will be positioned to ensure an informal pattern of trees and mix of species to ensure the woodland continues to regenerate in an organic form. New planting will randomly mix even amounts of downy birch, willow, alder, rowan, holly and sessile oak.

New planting will be cell grown whips (0.5-1.0m high) protected by tree tubes/robust stakes. Trees to be planted no later than the first planting season following the start of works on site.

Grass and weeds to be removed from 1m<sup>2</sup> area around tree stem by hand regularly during growing season over first three years. Epicormic growth to be removed annually to support crown growth. Tree guards to be checked in Spring and Autumn.



**schematic hut plot detail :  
27 trees/plot  
1:500**

**path detail : 7  
trees/20m  
1:500**

**Hutting Site at North Cloich  
By Lamancha, Scottish Borders  
Site Plan 1:1250 (at A2)**

100 metres

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north

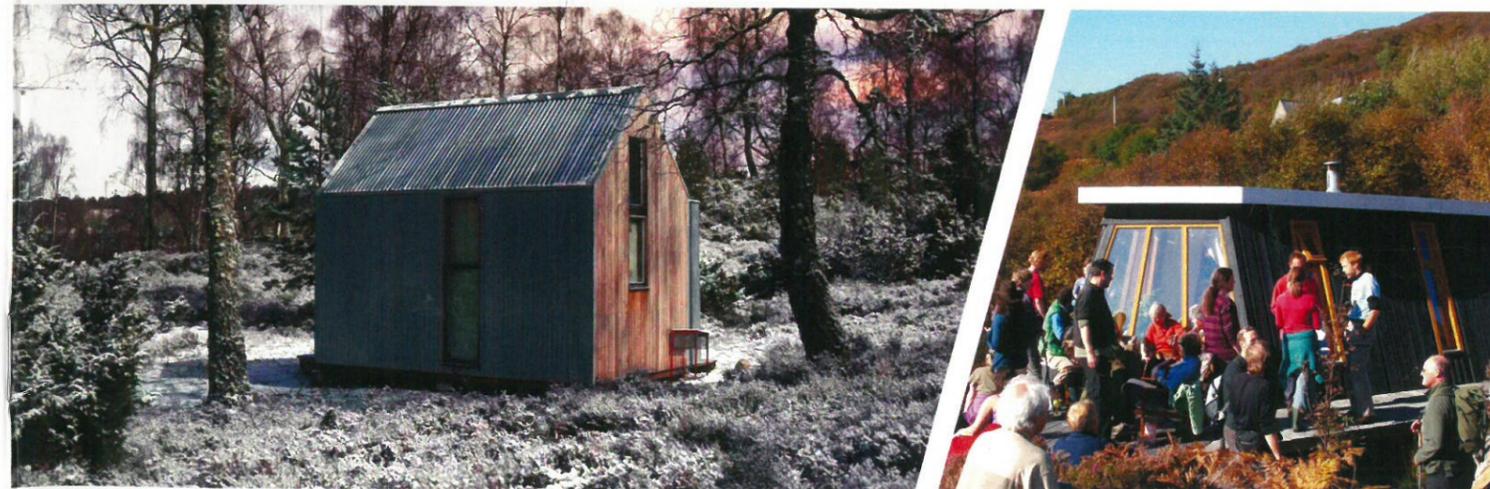
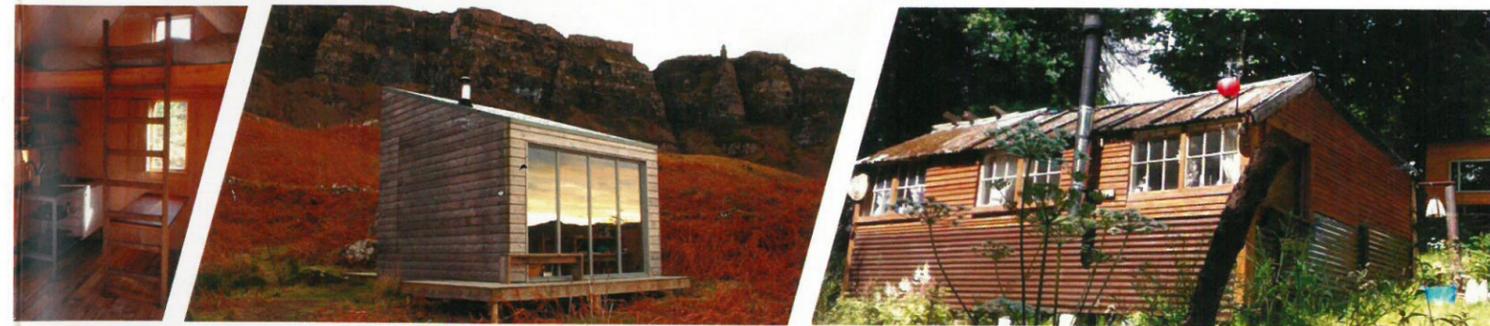
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## New hutting developments

Good practice guidance on the planning, development and management of huts and hut sites.



## Acknowledgements

This Guidance was developed by Reforesting Scotland's Thousand Huts Campaign team with extensive support from our Planning Advisory Group: Dr Graeme Purves (Chair of the Built Environment Forum Scotland), Richard Heggie (Urban Animation, RTPI UK Planning Consultant of the Year 2009), Bernard Planterose (North Woods Design), Peter Caunt (Quercus Rural Building Design), Anne Cunningham (Lowland Planning Associates). Edited and co-ordinated by Karen Grant.

This document has been the subject of rigorous review by planning professionals throughout Scotland, as well as those with expertise in legal and tenancy matters. Those that have reviewed and commented on drafts include staff at the Scottish Government Planning and Architecture Division, Land and Tenancy Reform and Building Standards Division. Drafts have also been reviewed by staff from the following planning authorities: Moray Council, Highland Council, Stirling Council, Scottish Borders Council and Fife Council. While we have done our best to incorporate the views of all our reviewers in the final document, it should be noted that their involvement, or that of their organisation, does not imply that organisation's endorsement of any aspect of the final document.



We are very grateful to the Planning Exchange Foundation for their support of this project, both in terms of funding and through professional advice from their board members.

## Disclaimer

Reforesting Scotland's Thousand Huts campaign has compiled this document as guidance on good practice only. It is not an authoritative statement of the law or of the policy and practice of the planning system at the local, national or case level. It simply sets out what Reforesting Scotland believes to be the best way forward in embodying the intention in the Scottish Planning Policy definition of a hut, and working towards a hutting movement that benefits people and the environment. Anyone considering undertaking a hut development should seek their own legal, planning and building regulations advice. We do not give legal advice.

## About Reforesting Scotland

Reforesting Scotland has campaigned for 25 years for a sustainable forest culture in Scotland. As well as running a range of projects, Reforesting Scotland produces a well-loved journal and hosts a very popular Annual Gathering. The Thousand Huts campaign is a thriving part of Reforesting Scotland's work.

## Cover

From top left: Cormac Seekings' woodland hut; A new hut designed by Jack Hughes and Lucy Eccles; Interior of Sweeney's Bothy, Eigg; Interior of Inshriach Bothy, Aviemore; Sweeney's Bothy; Typical traditional hut at Carbeth; Inshriach Bothy; An off-grid hut designed by North Woods Design, used for meditation, piano playing and relaxation. Photos: Andy Wightman, Jack Hughes, The Bothy Project, Karen Grant, Graeme Purves and Donald McPhillimy.

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## New hutting developments

Good practice guidance on the planning, development and management of huts and hut sites

### Foreword

by Professor Peter Roberts  
Chair of the Planning Exchange Foundation

Informal buildings are important. This report demonstrates what can be delivered through the provision of space – intellectually and physically – for hut development in a system of land use planning.

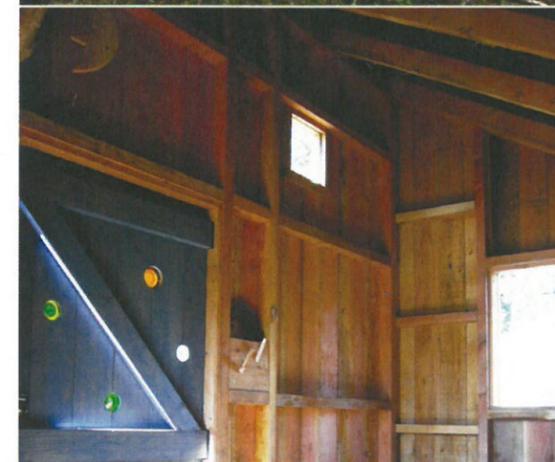
Why are huts important? The report offers many strands of argument: huts provide a base for outdoor activity; they enable the development of a better understanding of the carrying capacity of the environment; they encourage the development of new skills; they provide a platform for the creation of cohesive communities, and they contribute to sustainable rural development.

Huts have a long history of providing informal space for many uses; just think back to the pioneering Plotlanders in inter-war Southern England, the historic role of the *caban* as a place for debate and learning in Welsh quarries and mines, or the longstanding Dutch love of their 'cottages' set alongside canals and in allotments.

Reforesting Scotland is to be congratulated for their vision and energy in producing this report. Practical research of this type adds considerably to our collective awareness and knowledge. It also demonstrates what is possible.

The Planning Exchange Foundation is delighted to have been able to fund this research.

Planning  
Exchange  
Foundation



Above: Exterior and interior views of a hut at Falkland designed by Alasdair Baird of Studio Baird Architects. It won an award from Cupar and North Fife Preservation Society who described it as 'brilliant, pure poetry in wood'; Participants at the 2014 Hutter's Rally at Maryhill in Glasgow. Photos: Alasdair Baird and Lesley Riddoch.

## 1. Introduction

*A hut: A simple building used intermittently as recreational accommodation (i.e. not a principal residence); having an internal floor area of no more than 30m<sup>2</sup>; constructed from low impact materials; generally not connected to mains water, electricity or sewerage; and built in such a way that it is removable with little or no trace at the end of its life. Huts may be built singly or in groups.*

From the glossary of Scottish Planning Policy (SPP) 2014<sup>1</sup>

Often, people's happiest memories of childhood are times spent in simple rustic surroundings close to nature. Huts can strengthen family bonds, build community resilience and create memories which last a lifetime. Affordable, accessible huts within reach of urban centres can make this possible for people of all income brackets.

Like many Northern European countries, Scotland once had a strong hutting culture, however this has been eroded in the last 60 years. Until recently, huts had no place in Scottish planning policy. Now the tide is beginning to turn in favour of hutting again. In 2014 Scottish Planning Policy defined huts, and encouraged local authorities to consider them in development plans. This change is thanks to an upsurge of enthusiasm for huts, and the work of the campaign for A Thousand Huts,<sup>2</sup> launched by Reforesting Scotland<sup>3</sup> in 2011 with the aim of reviving Scotland's hutting culture.

## 2. The role of this document

This document is a good practice guide produced by Reforesting Scotland to help support the sustainable development of new hutting in Scotland. It draws on the expertise of an advisory group comprising planners, architects, building standards professionals and hutters. This document has a sister publication, 'The Good Practice Guide to Hut Construction', due to be launched later in 2016. That document covers the technical issues of building an individual hut and how Scottish building regulations may impact on the design and specifications involved.

### Terminology

The words 'hut', 'chalet', 'bothy', 'pod' or 'cabin' are often used interchangeably, although they can mean different things. For the purpose of clarity, this document is about buildings within the SPP definition of a **hut**. Whether a building is defined as a hut within Scottish Planning Policy can be determined by its size, construction and use.

Sections 4-9 of this document deal with planning considerations including: what is, and is not, a hut; where might huts be built; the density of development; the land immediately surrounding a hut; special considerations for planning hut sites. Sections 10-12 go beyond this, setting the wider context and covering issues including: the management of hut sites; tenure; and land ownership. The intention in doing this is to help lay the groundwork for a new hutting culture beneficial to the wellbeing of people and the environment.

### Who is it for?

This paper provides good practice guidance for planners and prospective hut builders or hut site developers. It may complement the existing or proposed Supplementary Guidance produced by planning authorities.

1 [www.scotland.gov.uk/Resource/0045/00453827.pdf](http://www.scotland.gov.uk/Resource/0045/00453827.pdf)

2 [www.thousandhuts.org](http://www.thousandhuts.org)

3 [www.reforestingscotland.org](http://www.reforestingscotland.org)

Readers with little prior experience of the Scottish planning system may find it useful to refer to the Scottish Government's website explaining how it works at a local and national level.<sup>4</sup> Your own local authority website will also have useful information.

### The hallmarks of good practice in hut developments

All new hut developments should remain in keeping with the low impact, ecologically sustainable and affordable tradition of Scotland's hutting communities. This ethos is reflected in the definition of a hut in Scottish Planning Policy 2014.

It is therefore important that hutting developments are established on the basis of:

- Adherence to the principles of ecologically sustainable development in terms of design, materials, construction, waste management and access;
- Careful selection of suitable locations for hut development, recognising that some areas may not be suitable for such developments;
- Participatory decision-making to maximise community cohesion and resilience. This applies to both the community of hutters and the surrounding community within which they are embedded;
- Robust and equitable tenancy agreements giving clarity and security to tenant hutters and landowners;
- Safeguards to prevent hut developments paving the way for higher impact developments at a later date.

### Experiences in other European countries

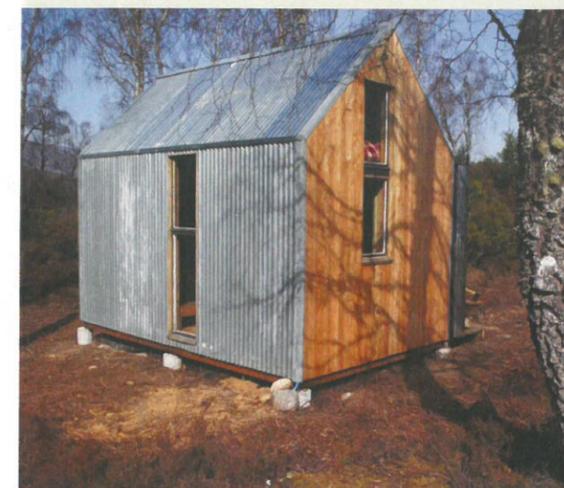
While many European countries have thriving hutting cultures, in some countries, such as Austria and Germany, these are based on historical huts and there is no tailor-made policy for new hut developments. Norway does have a hutting policy, and a famously thriving huts culture. Roughly half the population of Norway has access to a *hytte*. However, Norwegian research<sup>5</sup> has found that the *hytte* tradition has begun to stray from its low-impact roots. A recent report<sup>6</sup> found that *hytter* had increased in average size in the last 30 years, as well as being much more luxurious. The research recommended several ways to lessen the environmental impact and reduce climate concerns about this trend in the use pattern of *hytter*. They say hut sites should have limited parking spaces associated with them, and sites should be near public transport routes. They also strongly recommend limiting the size of *hytter*, which in Norway are much bigger than those defined by Scottish Planning Policy.

In order to avoid the same problem arising in Scotland, a number of measures are already embodied in policy. The Scottish Planning Policy definition of a hut states that a hut must have "an internal floor area of no more than 30m<sup>2</sup>." It also states that a hut is, "constructed from low impact materials; generally not connected to mains water, electricity or sewerage; and built in such a way that it is removable with little or no trace at the end of its life." This emphasis on the low impact nature of hutting will be crucial in all decisions on new hut developments.

4 [www.gov.scot/Topics/Built-Environment/planning](http://www.gov.scot/Topics/Built-Environment/planning)

5 [www.newsenglish.no/2011/10/04/hytte-life-not-what-it-used-to-be/](http://www.newsenglish.no/2011/10/04/hytte-life-not-what-it-used-to-be/)

6 This report was from research firm Vestlandsforskning, carried out in cooperation with the Norwegian University of Science and Technology (NTNU) in Trondheim and state consumer research agency SIFO.



Located within the Cairngorms National Park, Inshriach Bothy was designed by architect Iain MacLeod and artist Bobby Niven. Photo: The Bothy Project.

## Scotland's opportunity

Scotland can learn from experience elsewhere and lead the way to create a robust and clearly defined vision of what hutting should be, in order to maximise its benefits for communities and the environment and minimise the potential for adverse impacts.

### 3. Scotland's hutting heritage: A new era begins

Simple, rustic buildings have always been an important part of Scotland's culture. From shielings to mountain bothies and shepherds' huts, they have played a crucial role as temporary bases for people to spend time in the hills, forests and countryside. Uses have included: tending livestock; fishing; seasonal work; rest, retreat and recreation; family time; enjoying nature and cultural activities such as writing, painting and making music.

A century ago, a new wave of hutting provided industrial workers with a chance to have weekends and holidays a few miles outside the city, where they could connect with family and live simply in the natural environment. Scotland's largest remaining hutting community is at Carbeth, near Glasgow, where 140 huts and a thriving population of hutters remain. The origins of Carbeth hut site were based on providing access to green space for returning soldiers from the First World War. Carbeth has always had strong links to the ship-building communities of the Clyde. Its population peaked in 1941 after the Clydebank blitz. In 2013, Carbeth hutters rallied together to buy the land their huts sit on. The community continues to go from strength to strength.

The hutting movement has been eroded in the last 60 years for various reasons, including societal changes, shifts in attitudes in landownership, and a lack of a supportive planning framework for new huts. Many huts occupied for generations by the same families have now been lost.

Page 25  
Examples of traditional hut sites found around Scotland. Clockwise from top left: Community spirit - the sack race at Carbeth hut site; An example of an older restored hut at Carbeth; Huts at Soonhope near Peebles. Photos: Carbeth Hutters Community Company; Graeme Purves; Brunton and Angela Hunter.



However, as many people become increasingly disconnected from nature, huts are needed more than ever. The last few years have seen a resurgence of interest in hutting. Reforesting Scotland's Thousand Huts campaign has a list of over 800 people who would like a hut of their own, and an online community of well over 3700 members - and support is growing every day. In 2013, more people responded to the consultation on the Scottish Planning Policy on the issue of huts than any other planning issue. As a result, Scottish Planning Policy 2014 included huts for the first time.

#### Traditional use pattern of huts in Scotland

The pattern of use of huts in Scotland established during the inter-war expansion of hutting is based on the following characteristics:

- Hutters tended to be people with a low-income from towns and cities
- Huts were used for weekends and holidays on a regular basis as they were located relatively near where the hutters lived
- The traditional concept was that the hutter owned their hut but not the land it sat on (see box on the law of accession on page 26) - the hutter paid ground rent to a landowner. In the past this often happened with no formal lease. We strongly recommend that new hutters seek a robust formal agreement with the owner of the land. See the section on the Voluntary Code of Good Practice (page 25) for detail of what could be contained in this agreement.

Although the hut provides recreational accommodation, in many ways the pattern of use is more comparable with an allotment than with tourist accommodation, as the hutting family returns to the same hut, which is commonly less than 20 miles from their permanent residence.

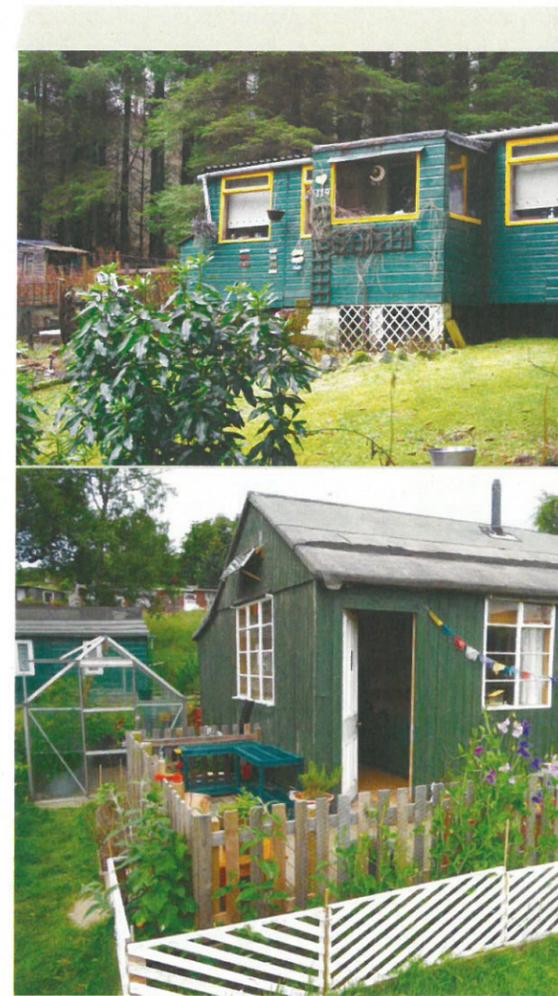
#### Existing surveys of Scottish huts

A report published in 2000 by the then Scottish Executive, on 'Huts' and 'Hutters' in Scotland,<sup>7</sup> estimated that there were around 630 huts on sites developed since the 1920s around Scotland. About half of the remaining huts were in Stirling, the Scottish Borders and Angus. The report notes that:

*"Received wisdom was that hut sites had been deliberately established in the 1920s, probably by landowners making land available on which ex-servicemen and families from deprived inner city areas could erect dwellings at their own cost. By so doing they could enjoy the benefits of the countryside and fresh air for holidays and at weekends. They were not intended for permanent residence, generally being of modest construction with few, if any, services available."*<sup>8</sup>

Reforesting Scotland's Thousand Huts campaign has carried out a survey of a sample of the existing remaining huts, including data about their structure, location and use. We also have data from a survey of over 800 people who would like to have a hut of their own. The data from both surveys is currently under analysis and provides an interesting insight into the structure, use and economics of hutting.

7 [www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf](http://www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf)  
8 [www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf](http://www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf)



Traditional huts on the remaining hut sites dating back to the heyday of hutting in Scotland. From top: Stirling Council granted Carbeth Hut Site Conservation Status in recognition of its heritage value; A newly restored traditional hut at Eddleston near Peebles. Note the distribution of other huts on the hillside. Photos: Morven Gregor and Chris Cunningham.

## The benefits of hutting



### Health and wellbeing

Hutting creates new ways for people to be active outdoors. It gives people a purpose and a connection with nature and a community of interest, which promotes wellbeing. There are strong links between time spent in peaceful rural environments and improved mental health.

### Building understanding of the natural environment

Well-planned hutting sites can form an important part of green infrastructure. Huts are a bridge between nature and culture, and, as such, form a healthy access point into the outdoors and the natural heritage. As people have a deeper connection with place and the natural environment, they become better stewards of it.

### Creating strong and resilient communities

We have seen in existing hutting communities, such as Carbeth, that hutting builds community, empowers people to take responsibility, and affords a wide range of opportunities for creativity – from building huts to establishing a community woodland. It encourages the development of practical skills and initiative. The additional benefits for mental health and wellbeing mean the whole community becomes more resilient. Research shows that one of the main benefits of hutting is the strengthening of family bonds. Making it easier for families to have access to hutting could have long-lasting benefits for children and young people.

### Developing skills in low carbon living

Spending time in a simple, rustic hut can be a highly effective way of learning how to reduce our impact locally and globally. Hutters experience the natural environment at close quarters and learn how human behaviour impacts upon it. Hutting life teaches economy with resources, the need to minimise waste, and ways of re-using materials, both in the fabric of the building and in daily life. Hutting locally has much lower impact on the environment than holidays abroad (flying is a major contributor to individual carbon footprints). Hutting also offers people opportunities to gain a range of skills which society has tended to lose over the generations – such as practical skills in using resources creatively, countryside crafts and green woodwork. In short, it can help to equip us with the life skills for genuinely low carbon living.

### Sustainable rural development

A responsible expansion of hutting can help to stimulate innovation in low impact rural development, creating opportunities for local foresters, craftspeople and tradespeople. The demand for locally produced materials for hut building could help to support local sawmills. Hutting communities can stimulate local economic activity by increasing the demand for goods and services. Hutting is an affordable way to create places that enrich people's lives, without the need for highly processed materials, which have high embodied energy and a large carbon footprint.

### Capitalising on Scotland's existing innovation and expertise

While huts are simple buildings, a range of materials and building techniques can be used in their construction. Scotland already has a rich resource of good practice in innovative building design. There is a wealth of expertise and inspiration for Scotland's hutters to draw upon, including the experience of the architects and builders of the Scottish Ecological Design Association, and new interest from academics from Napier University's Centre for Offsite Construction and Innovative Structures, and Glasgow School of Art.

## PLANNING CONSIDERATIONS

*A hut: a simple building used intermittently as recreational accommodation (i.e. not a principal residence); having an internal floor area of no more than 30m<sup>2</sup>; constructed from low impact materials; generally not connected to mains water, electricity or sewerage; and built in such a way that it is removable with little or no trace at the end of its life. Huts may be built singly or in groups.*

### 4. Huts and the Scottish planning system

Until recently, the lack of any formal recognition of hutting in policy or legislation has been an impediment to the building of new huts. The recent inclusion of supportive policy on huts in the 2014 Scottish Planning Policy (SPP) is a first step in recognising hutting as a distinctive type of development with its own characteristics and requirements.

Section 79 of the SPP states that '[Local Development] Plans should set out a spatial strategy which, [...] where appropriate, sets out policies and proposals for leisure accommodation, such as holiday units, caravans, and huts'

This paragraph contains a link to the glossary of the SPP where a hut is defined as follows:

*A simple building used intermittently as recreational accommodation (i.e. not a principal residence); having an internal floor area of no more than 30m<sup>2</sup>; constructed from low impact materials; generally not connected to mains water, electricity or sewerage; and built in such a way that it is removable with little or no trace at the end of its life. Huts may be built singly or in groups.*

In support of this policy, we have produced this guidance on planning hut sites, however it would be advisable for planning authorities to draw up their own guidance and criteria, which would be applied to local proposals for hutting sites. As we go to press, the future framework for building regulations in relation to huts as defined in the SPP is under consultation. In relation to the technical aspects of hut building, Reforesting Scotland will publish *The Good Practice Guide to Hut Construction* later this year.

### The role of Development Plans

Scottish Planning Policy identifies the demand for huts for recreational use as one of the matters that should be addressed in the preparation of development plans. Policy on the location and siting of huts should be set out in development plans or supplementary guidance, should a need for such policy be identified.

All planning decisions are made in accordance with development plans unless material considerations indicate otherwise (in accordance with Section 25 of the Town and Country Planning (Scotland) Act 1997). Hutters should make themselves aware of relevant planning policy and the



A vision of a contemporary hut by North Woods Design. Image: Bernard Planterose.



Hut designs by Bernard Planterose of North Woods Design. The larger hut pictured here integrates a 10m<sup>2</sup> deck with a 23m<sup>2</sup> space under one roof.

range of policy relevant to hutting development. We would also encourage hutters to get involved in shaping development plans in their local authority area to ensure there is appropriate policy and provision made for hutting.

### Policy areas relevant to hut developments

The following policy areas will be relevant in the decision-making process about whether a hut development gets planning permission. They may also affect the conditions that might be applied. It will be important to look at development plans in detail to consider the range of policy that may be relevant to hut proposals.

The following policy areas may have implications for hut developments:

- Biodiversity
- Landscape
- Access rights and recreation
- Agricultural land
- Development in the countryside/rural development
- Green belt
- Promoting sustainable transport and active travel
- Place-making and design
- Promoting green infrastructure
- Flood risk and drainage
- Sustainability
- Reducing waste
- Low carbon economy
- Health and exercise

### Note to hut builders

There are no permitted development rights for huts. A planning application will be required for all hut developments and the application will provide details of what is proposed - including any decking, canopies or external toilets. If the planning authority has concerns, they may ask for changes or may refuse the application. However, the 2014 SPP does encourage local authorities to consider huts for recreational use, and it may be worth referring to this in your application. Unapproved changes to the design and construction may be subject to enforcement action or retrospective planning permission.



Above: The verandah of the Woodsman's Hut at Nethybridge. Photo: David Dean

On the basis that planning authorities will use the SPP definition of a hut, hut builders would be well advised to base their designs and planning applications for huts on that definition, otherwise they may be less likely to get permission. They may also risk being subject to additional obligations in terms of building regulations.

In applying for planning permission, particularly for larger hut schemes and where they are located in proximity to houses and settlements, those proposing new hut developments would be wise to engage with neighbours and local communities to help them understand the nature of hutting. This can help facilitate the planning process and ensure community support for the project.

## 5. What is a hut?

### Definition

Scottish Planning Policy defines a hut as a simple building used intermittently as recreational accommodation (i.e. not a principal residence); having an internal floor area of no more than 30m<sup>2</sup>; constructed from low impact materials; generally not connected to mains water, electricity or sewerage; and built in such a way that it is removable with little or no trace at the end of its life. Huts should be designed in accordance with this definition.

### What size is a hut?

The maximum internal floor area of 30m<sup>2</sup> included in the SPP definition has been set to minimise the risks of structural instability, to maximise energy efficiency and to help ensure that huts remain simple, low impact buildings which can be removed with little or no trace.

Huts may also have decking and an external toilet. Decking has an important role for access and the practicalities of hutting. In two of the examples pictured here, the decks are covered to increase functionality and prevent entrance ways from becoming slippery. Excessive decking would not be in keeping with the SPP definition of a simple, low impact building, removable at end of its life and would be unlikely to get planning permission on that basis. While the SPP definition refers to 30m<sup>2</sup> internal floor area the expectation is that decking would not extend the area of a hut much beyond that.

It should be noted that existing hutting sites may have established conventions for hut sizes, which would be expected to be reflected in any new or replacement huts, as long as the size is equal to, or less than, the SPP definition. For example, at Carbeth the typical historical rectangular hut has a maximum floor area of 23m<sup>2</sup>.

### How many huts?

Scottish Planning Policy states that huts may be built singly or in groups. Developments of groups of huts should reflect the principles of place-making set out in Scottish Planning Policy.

Scotland's largest hut site is Carbeth, with around 140 huts. However, this is exceptional. From our experience, many traditional remaining hut sites



We expect the new generation of huts to inspire an explosion of creativity. Above are examples of some of the newest designs to emerge: Peter's Hut, designed by Peter Caunt of Quercus Rural Building Design, was exhibited at the Scottish Storytelling Centre during the Edinburgh Festival 2015; A hut in Falkland by Studio Baird Architects; A new hut designed by architects Jack Hughes and Lucy Eccles. Photos: Peter Caunt, Alastair Baird and Jack Hughes.



Above: David Blair and team working on a prototype hut design at the Big Tent Festival, Fife; David Dean and Django at the Woodsman's Hut near Nethybridge. Photos: David Blair and David Dean.

have anything up to 12 huts, and many have far fewer. To maximise the community benefits of hutting, larger sites may be appropriate in some places.

### Construction: What is a hut made of, and how is it made?

Huts should be simple buildings built from natural or reclaimed materials rather than highly-processed components. The reason for this is twofold: firstly, the use of natural materials, particularly for cladding, helps the building to integrate well with its natural surroundings; secondly, the use of natural, less-processed materials reduces the energy embodied in construction, thereby minimising the carbon footprint of the building. There may, of course, be parts of the hut that cannot readily be constructed from natural or reclaimed materials.<sup>9</sup> Consideration of energy efficiency (both in building and use), appropriateness to the surroundings and cost will all play a part in a balanced decision on building materials.

While timber is the traditional material for hut construction, hutters are sympathetic to the use of most low impact, minimally processed materials (whether natural or reclaimed), and to the use of metals for roofing or cladding (which is in keeping with traditional rural use of corrugated metal).

The most appropriate approaches to hut building (i.e. those that are in keeping with its low impact philosophy) rely as much as possible on the use of sustainably grown and processed local materials, and the skills of locally-based craftspeople and tradespeople. There are already good examples of this happening in Scotland, and it has been demonstrated that it is possible to produce well-designed, simple, low-technology buildings in this way. A good example of this is the Woodsman's Hut at Nethybridge, which was built on a relatively small budget, using local timber and skills, and won the Cairngorm National Park Design Award in 2012.<sup>10</sup> However, there are many different ways of building a hut. The budget for hut building can vary widely. It is possible to build relatively cheaply if there is a lot of voluntary labour and time available. Costs of building materials also vary widely depending the specification and quality, or on accessibility of reclaimed or recycled materials.

## 6. What is not a hut?

### Structures which fall outwith the scope of this guidance

This guidance is about huts as defined in SPP 2014. The Scottish Executive's report on 'Huts' and 'Hutters' in Scotland,<sup>11</sup> published in 1999, excluded 'fishing huts, climbing huts, bothies etc. since they seem to fall into a different category of use.' At the 2014 Hutters' Gathering there was general consensus that other buildings and structures which should **not** be considered as huts include shipping containers, caravans, portacabins, and buildings made of materials with high ecological and

<sup>9</sup> Reforesting Scotland is due to publish "The Good Practice Guide to Building a Hut" in 2016.  
<sup>10</sup> cairngorms.co.uk/uploads/documents/Park%20Authority/Planning/Good\_design\_in\_the\_Park/Design\_Awards\_case\_study\_Woodmans\_Hut.pdf  
<sup>11</sup> www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf

visual impact, such as breeze blocks. Huts (within the SPP definition) should also not be confused with holiday chalets (like those often seen on caravan parks), which share some physical similarities with huts but tend to be used solely as holiday lets and are often fully serviced.

## 7. Use patterns of huts

The SPP definition of a hut clearly states that a hut is not a principal residence and that it is for intermittent use. To protect the natural environment of rural Scotland it is important that low impact huts do not turn into higher impact developments. Local authorities will take enforcement action where they see huts being used in a way that does not comply with the definition.

### Traditional use patterns

Traditionally hutting was an affordable way for low waged urban people to have regular access to their own low impact space in natural surroundings near the town or city where they lived. This use pattern still exists in remaining hut sites such as Carbeth.

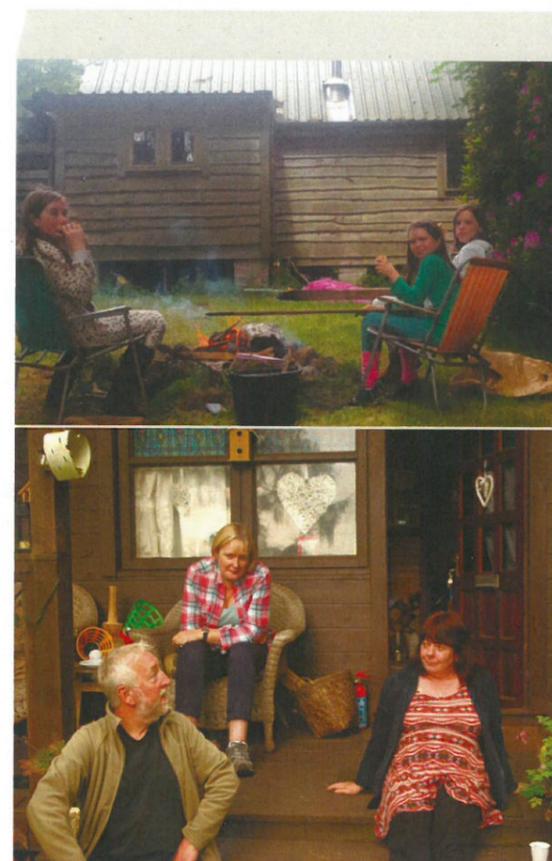
Huts are primarily about spending time in nature, peace and quiet, companionship or perhaps solitude, away from busy lives. They are about creating a space to restore mind, body and spirit. This is part of what distinguishes huts from bothies, fishing huts and similar structures with a purpose primarily to do with sleeping and eating accommodation to help support specific activities.

Nowadays, hut sites are often managed by a community trust or club, and we recommend this approach to those planning new hut sites. This representative body can ensure that the use of the huts is in accordance with the lease agreements and the SPP definition of a hut. As a campaign, we are particularly interested in the benefits to health, wellbeing, community and understanding of the natural environment that this can bring. Any use patterns and management arrangements proposed by developers of new huts under the SPP definition should be consistent with a genuinely low impact approach.

### What constitutes 'intermittent use'?

The SPP states that huts are for intermittent use and must not be principal residences. Hut sites tend to be self policing in this regard. However, planners will need to be satisfied that the site is not to be used for permanent residences. Planners may wish to consider using planning conditions, or possibly a Section 75 Planning Obligation, to safeguard this and prevent a site from changing to other, higher impact, uses.<sup>12</sup>

<sup>12</sup> Circular 4/1998 *The Use of Conditions in Planning Permissions*  
 www.gov.scot/Publications/1998/02/circular-4-1998/circular-4-1998-develop



Some people want a hut so they can spend quality time with family and friends, others long for peace and solitude. Photos: Fran Higson and Morven Gregor

## 8. Where might huts be built?

### Suitable locations

Huts could be an appropriate form of development in a variety of accessible rural locations around Scotland. Decisions on location will be based on local and national planning policy. Access to public transport and walking and cycling routes is an important consideration for hut location.

The 20<sup>th</sup> century model of Scottish hutting was such that huts were built near towns and cities, to be easily accessed by hutters from their homes a few miles away. The huts were not intended as permanent dwellings, but as an extension of home life – an affordable getaway or retreat that people could easily access on a regular basis. Our recent research suggests that a significant number of hut owners in Scotland live within 10 miles of their hut, and over half of those we surveyed live within 25 miles of their hut.<sup>13</sup> We support the continued development of huts in such accessible rural locations.

### Siting

In terms of siting, each application will be assessed on its own merits. The Scottish Government promotes principles of good place making<sup>14</sup> including issues applicable to hut sites. For a group of huts, accessibility to users may be an important consideration. For single huts, accessibility may not have the same salience. For a hut that serves as a retreat or hermitage, a remote or inaccessible location may be appropriate. The acceptability of such a development will depend on its impact on the environment.

In all cases, careful consideration must be given to potential impacts on the environment and existing communities. Planners should consider whether the building of huts will have a material impact upon the current use of the land. For example, will it have a negative effect on the current pattern of the wider community's enjoyment of the site?

In ecologically sensitive areas the impact of a hutting development must be considered carefully. The ethos of hutting is that it should be in balance with the natural environment and should be a way for people to increase their understanding of, and connectedness to, the natural environment. Particular care will be required where there is potential for effects on a site designated for its natural heritage or landscape value, or for potential impacts on the setting of built heritage.

*Care should be taken that huts do not become a 'foot in the door' for higher impact development. Hutting developments should have a low impact upon their site. The huts should be easily removable and there will be limited infrastructure. As a result, sites where the hutting use comes to an end should **not** be considered brown field land.*

### Access and sustainable transport

Hutting has the potential to increase low carbon living and to provide affordable access to nature for low income groups. In keeping with this, effort should be made towards locating sites in areas accessible by sustainable transport modes: walking, cycling and public transport.

<sup>13</sup> As yet unpublished research by Reforesting Scotland using surveys at [www.thousandhuts.org](http://www.thousandhuts.org)  
<sup>14</sup> [www.gov.scot/Topics/Built-Environment/planning/Policy/Principal-Policies/Place-Making](http://www.gov.scot/Topics/Built-Environment/planning/Policy/Principal-Policies/Place-Making)

### Access within the site

Historically, Scotland's hutting sites have had very limited paved access within the main area of the site. Sites tend to be served by a series of unmade tracks, or similar lower-impact alternatives to paved roads.<sup>15</sup> In new hutting developments metalled roads should be kept to a minimum to preserve the rural character of sites. They should provide access to the site, rather than to individual huts.

Ideally, the road should stop at the entrance of the site, where parking should be provided. Where tracks are proposed, it must be demonstrated that they are absolutely necessary for the practical functioning of the site. Wherever they are included within hut sites, they should be as low impact as possible, both visually and environmentally.

The most appropriate access arrangements will depend very much on the scale of the hutting site and that proposals should meet the requirements of the appropriate Roads Authority.

### Considerations relating to the immediate surroundings of the hut

Consideration of flood risk may be relevant. SEPA recommends the use of their flood risk maps<sup>16</sup> but detailed investigation of risk may be appropriate in some cases. Areas at medium to high risk of flooding (1:200) in undeveloped or sparsely developed areas would generally not be suitable for hutting.

Woodland sites are ideal for hutting but they must be carefully managed to minimise the risk of windblow of trees in the immediate vicinity of huts. Overhanging branches should be removed from the site of a hut, and planners may request a basic woodland management plan as part of planning conditions. Consideration should be made of the Scottish Government's policy on Control of Woodland Removal.<sup>17</sup>

We recommend that huts in woodland are built with a strong structure to minimise risks from windblow and that hutters and hut site owners undertake regular inspections of any trees that may cause damage, using an experienced forester or tree surgeon where appropriate. They may also wish, or be required, to insure against damage and injury from falling trees.

### Environmental Impact Assessments

Environmental Impact Assessments will only be required on rare occasions where a hut site development may have significant impact. EIA requirements are set out in the Scottish Government Circular 1/2013,<sup>18</sup> which states that:

<sup>15</sup> The Scottish Executive (2000) in their report 'Huts' and 'Hutters' in Scotland, stated that: "Another important feature of hut sites, and even more the individual huts, is how you get access to them. Most sites are in rural areas, often fairly remote. The nature of the access to sites and to individual huts within them depends partly on location and on topography and partly on the extent to which a site owner provides at least partially made-up tracks. Only a few sites are directly adjacent to a road and even then these are generally fairly minor roads. Most have to be approached via farm or estate tracks of varying length and condition and one or two are fairly inaccessible."

<sup>16</sup> [www.sepa.org.uk/flooding/flood\\_maps.aspx](http://www.sepa.org.uk/flooding/flood_maps.aspx)

<sup>17</sup> [www.forestry.gov.uk/PDF/fcfc125.pdf/\\$FILE/fcfc125.pdf](http://www.forestry.gov.uk/PDF/fcfc125.pdf/$FILE/fcfc125.pdf)

<sup>18</sup> [www.gov.scot/Resource/0043/00432581.pdf](http://www.gov.scot/Resource/0043/00432581.pdf)



Huts should have a very low impact on the natural environment. Photo: Jack Hughes and Lucy Eccles.

Developments falling within a description in Schedule 1 to the Town and Country Planning (Environmental Impact Assessment) (Scotland) Regulations 2011<sup>19</sup> always require environmental impact assessment. Development of a type listed in Schedule 2<sup>20</sup> to the Regulations will require environmental impact assessment if it is likely to have a significant effect on the environment, by virtue of factors such as its size, nature or location.

It will be for the planning authority to decide which type of development (and therefore which size threshold for the purposes of EIA) is applied to prospective hut sites on a case-by-case basis.<sup>21</sup> As hutting does not fall within any of the descriptions in Schedule 1 of the Regulations, formal environmental impact assessment will not be mandatory. Where a proposal exceeds the threshold for a type of development listed in Schedule 2 of the Regulations, or the development is located in a 'sensitive area'<sup>22</sup> where the thresholds do not apply, EIA will only be required where it is concluded that it is likely to have a significant effect on the environment. Schedule 2 development requires case by case screening to determine whether an EIA is required.

An EIA may also be required as a result of changes or extensions to existing or approved developments. This is covered in the Scottish Government Circular 1/2013.<sup>23</sup>

## 9. Density of development

### Historic variations

There is great variation in the density of huts at existing sites. In 2000 the Scottish Executive reported that:

*"The space occupied by hut sites is also very variable. Some are compact and tucked away, others much more spread out. Often the huts themselves occupy indeterminate patches of land with no clear boundaries and it is unlikely that the landowners ever thought about a specific area for their 'sites'. Natural boundaries of an available field or other piece of land were the normal determinants and as there were more requests to be allowed to put up huts the available area was filled."*

Hugh Gentleman's survey of hut sites in Scotland in 1999 gives some indication of the average density of historic hut sites.<sup>24</sup>

### Key considerations for appropriate density

At new hutting sites a more planned approach will need to be taken. A wide variety of densities may be appropriate in different places, depending on the type of development that is planned and the specific characteristics of the site. In determining hutting density, the primary considerations should

19 [www.legislation.gov.uk/ssi/2011/139/contents/made](http://www.legislation.gov.uk/ssi/2011/139/contents/made)

20 [www.legislation.gov.uk/ssi/2011/139/schedule/2/made](http://www.legislation.gov.uk/ssi/2011/139/schedule/2/made)

21 Schedule 2 of the EIA regulations does not specifically categorise hutting developments. However, impacts may be no more significant than permanent camp sites and caravan sites (12.e Tourism and Leisure).

22 'Sensitive areas' are; Sites of Special Scientific Interest, Land subject to Nature Conservation Orders, International Conservation Sites, National Scenic Areas, World Heritage Sites, Scheduled monuments and National Parks.

23 [www.gov.scot/Resource/0043/00432581.pdf](http://www.gov.scot/Resource/0043/00432581.pdf)

24 Research Consultancy Services. 1999. Huts and Hutterers in Scotland 1999 draft research report material retained by Research Consultancy Services. Released by Research Consultancy Services via Scottish Government in response to a Freedom of Information request in May 2012 by Lesley Riddoch.

be: ensuring good landscape fit; enhancing the unique qualities of the site; ensuring there is minimal impact on the natural environment and landscape; privacy, and the risk of fire.

Within existing sites, the historic pattern of development will be an important factor.

Innovation in hut site design will create developments that can genuinely deliver better quality of life for the hut users. The Scottish Government's policy on creative place making states that, "The purpose of architecture and urban design is not only to meet our practical needs in housing, our activities, but also to improve the quality of life for the people of Scotland." This is fleshed out in detail on their Creative Places micro site.<sup>25</sup>

## 10. Services

### Off grid solutions

Historically, service provision to individual huts has been minimal.<sup>26</sup> Off-grid solutions are generally the most desirable option for huts, and the use of mains services should be avoided. The SPP states that generally huts are not connected to mains water, electricity or sewerage. This is part of what sets huts apart as different from houses or holiday accommodation. The simplicity of huts helps to minimise the carbon footprints of hutting developments, increase low carbon skills, avoid adverse impacts on the natural environment, and foster a healthy sense of getting away from the pressure and pace of modern life.

### Heat and light

Huts are usually heated by wood burning stoves. Appropriate off-grid solutions are very much in keeping with the low impact ethos of hutting and micro-renewables will be an attractive solution for many hutterers. Depending on their scale and siting there may be a need for some caution around creating additional visual impacts in sensitive rural locations. The installation of such technologies may be subject to planning permission. Some hutterers generate their own electricity using solar panels or micro wind turbines.

### Waste management, storage and collection

Domestic refuse can be an issue on hutting sites. Problems can arise where neither the hut occupier nor the site owner takes full responsibility for the management and removal of domestic waste. That is why Reforesting Scotland recommends that the hutterers set up a Hutterers Trust (or similar body) to take responsibility for such issues. It is important that there is a clear formal agreement on responsibility for waste management between the landowner and the Hutterers' Trust or the landowner and the individual hutter, depending on the circumstances.

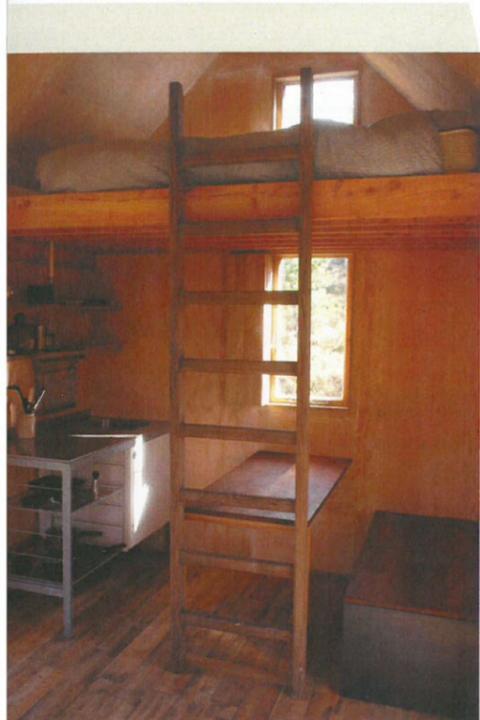
At Carbeth the local authority collects waste from centralised collection points. However, council collections may not be feasible from small sites. Solutions will require to be tailored to suit individual sites. A workable solution must be found which minimises environmental impact. Any centralised collection areas should be screened to minimise the visibility of bins or refuse awaiting collection.

25 [www.creatingplacesscotland.org](http://www.creatingplacesscotland.org)

26 'Huts' and 'Hutterers' in Scotland. Scottish Exec. (2000) [www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf](http://www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf)



This example of a simple, off grid hut was designed by Alastair Baird. Compost toilet visible in the background. Photo: Falkland Centre for Stewardship.



Interior of Inshriach Bothy - off grid for all services. Note the lack of taps! Photo: The Bothy Project

## Water supply

Scottish Planning Policy states that generally huts are not connected to mains water, electricity or sewerage. In Scotland's historic hutting sites, mains water tends to be supplied to the site through a central standpipe serving several huts.

As new hutting sites emerge, following the change in planning policy, the approaches to water supply may vary, and will depend on the agreement on service provision between the landowner and hutter. Some sites may follow the traditional path of installing a standpipe – a route which has many advantages, retaining the low-impact aspect of the site, while supplying good quality water. Scottish Water should be contacted where a new connection for this is sought. In some cases, hutters may be required to carry in their own drinking water and collect water for other uses.

## Greywater, rainwater and foul waste disposal

In the case of new build huts and hut developments, appropriate solutions for the safe and sustainable disposal and treatment of 'greywater', rainwater and foul waste will depend greatly on the number of huts, their separation and level of occupancy as well as environmental factors such as soil type and hydrology of the site. Whilst local authorities will want to see that hut site owners have considered all these types of waste at planning application stage, the technical details of the chosen solution(s) will be

assessed by Building Standards and SEPA as all waste water systems will be subject to Building Warrant irrespective of whether the hut itself is exempt (from Building Warrant).

Single or very small and/or isolated hut groups will often be able to readily dispose of greywater by simple and inexpensive infiltration systems (e.g. soakaways) and likewise rainwater by attenuation trenches and ponds. By contrast, the most cost effective and environmentally sound solution for larger developments and/or those closer to existing services may be simply to connect to mains sewers in which case Scottish Water protocols will apply.

Many huts and hut developments will wish to use composting toilets as these may be seen to fit well with the low impact definition of hutting. Compost toilets are the most common solution in existing sites, based on the most recent official survey of Scotland's huts, and on Reforesting Scotland's 2014 sample survey.<sup>27</sup> Compost toilet technology has greatly improved in recent years and a wide range of 'off the shelf' solutions is available - from large, powered tank systems to individual separating units. In the final analysis, however, all produce solid waste that either requires to be (1) stored and composted further for a period of time in a separate container or (2) used safely on site, eg for fertilisation of soils and non-food plants (3) removed from site by bulk transport. As this is a complex subject it will be best to refer to existing literature at an early planning stage.<sup>28</sup>

Reforesting Scotland's forthcoming *Good Practice Guide to Hut Construction* will give detailed advice on this subject and steer hutters through the regulatory framework for responsible waste disposal.

<sup>27</sup> 'Huts' and 'Hutters' in Scotland. Scottish Executive (2000) [www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf](http://www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf)

<sup>28</sup> A good place to start is the Low Impact Living Initiative (LILI) [www.lowimpact.org/lowimpact-topic/compost-toilets](http://www.lowimpact.org/lowimpact-topic/compost-toilets)

## 11. Guidance on matters affecting the land immediately surrounding the huts

### Paved areas, paths and hardstandings

To conserve the rural character of hutting sites, paved areas, paths and hardstandings within sites and in and around hut plots should be kept to a minimum. This may also help to ensure that the intended use of the huts as low-impact recreational accommodation is maintained. Appropriate tracks may be required within hutting sites to ensure that rubbish can be removed efficiently, and that fuel and other necessities can be transported to the huts. However, these should be minimal.

### Gardens, fences and hedges

Hut sites tend to preserve the natural character of the landscape much more than, for example, caravan sites. Often huts are almost invisible in the landscape, tending to be surrounded by natural vegetation rather than lawns and fences. This is a desirable feature of future hut site developments.

At Carbeth, Scotland's largest hut site, the huts are dispersed over a relatively large area, sometimes close together in groups and sometimes spread out. There is an informal, natural character to the place. Some of the huts do have a small garden around them, which often has a simple fence or hedge, however the overall natural character of the site is retained.

If people do have a small garden associated with their hut, caution should be taken with the planting of any non-native species in these natural settings.

### Communal green spaces

To maximise community cohesion and wellbeing, it may be desirable for the hutting group to share some communal green space and possibly a community hut. Depending on the agreement with the landowner, this may be managed by the site Hutters' Trust.



Hut sites work best with natural character retained as much as possible. Photo: Karen Grant

## 12. Special considerations for planning hut sites

### Retaining the natural character and low impact ethos of hut sites

Huts must be designed in accordance with the definition outlined in the Scottish Planning Policy. Since huts may be allowable in areas that are not appropriate for other types of development, care must be taken that they do not become a 'foot in the door' for a higher impact development. One example of this, raised by members of Reforesting Scotland, is a historic coastal hutting site made up of 8 small traditional huts, bounded on all sides by a Site of Special Scientific Interest (SSSI). The hutters were evicted and the landowner was given planning permission to build 8 luxury lodges and fence off the site. It is unlikely that this higher impact development would have been given permission if there had not already been low impact huts there. This must be avoided. A low impact development should **not** pave the way for a higher impact development. One option would be to put a bond in place at particular sites to provide for restoration of the site to its natural state in the event that hutting ceases. That would prevent it becoming brownfield land.

We also note that local authorities may wish to take action to protect the unique character of hutting sites. For example, Stirling Council granted the Carbeth hut site Conservation Area status in recognition of its heritage, natural and cultural value, and has adopted its Conservation Area Character Appraisal as Supplementary Guidance to the Stirling Local Development Plan. This document contains a very useful assessment of the qualities that make a hut site unique and important to a community. In addition to this appraisal, a Management Statement also exists containing specific and detailed hut design guidelines for new and replacement huts.

#### Local authorities with particular experience of hut sites

Stirling Council has particular experience in hut developments as it is home to Carbeth hut site. Indeed as this document goes to press, Stirling Council has proposed the inclusion of huts in their reviewed Local Development Plan and has produced a Topic Paper on Huts and Hutting.<sup>29</sup> Over a decade since it was first written, Stirling Council republished the Carbeth Conservation Area Character Appraisal<sup>30</sup> in 2014 as Supplementary Guidance to the Local Plan.

Fife Council may be one of the first authorities to receive a planning application for a new hut site following the 2014 SPP, as the proposed Forestry Commission Pilot Hut Site falls within the Fife Council area. This pilot looks set to provide useful learning and guidance on new hut developments. We are also aware of several other emerging hut sites at the planning application stage around Scotland.

Ninian Stuart at his hut near Falkland. This design has an 8m<sup>2</sup> deck under a lean-to roof integrated with an 8m<sup>2</sup> hut. Photo: Alastair Stephen.

### 13. Planning Obligations

#### Measures to safeguard the character of hutting developments

Planning obligations<sup>31</sup> may be sought by planning authorities in relation to applications for larger hut developments, or those with particular issues around location or design, if they consider that some potential impacts cannot be adequately addressed by planning conditions.<sup>32</sup> Planning obligations are legal agreements between the developer and the planning authority under Section 75 of the Town and Country Planning (Scotland) Act 1997 as amended by the Planning etc. (Scotland) Act 2006. They place a burden on the title, and might be used, for example to secure any necessary upgrades to off site infrastructure such as paths, or address other impacts arising from the development.

<sup>29</sup> [www.stirling.gov.uk/\\_\\_documents/temporary-uploads/economy,-planning-\\_and\\_-regulation/approved-ldp/mir-topic-papers/huts-topic-paper-june-2015.pdf](http://www.stirling.gov.uk/__documents/temporary-uploads/economy,-planning-_and_-regulation/approved-ldp/mir-topic-papers/huts-topic-paper-june-2015.pdf)  
<sup>30</sup> [www.stirling.gov.uk/\\_\\_documents/temporary-uploads/economy,-planning-\\_and\\_-regulation/ldp-final/con-apps-aug-2014/carbeth-con-area-app.pdf](http://www.stirling.gov.uk/__documents/temporary-uploads/economy,-planning-_and_-regulation/ldp-final/con-apps-aug-2014/carbeth-con-area-app.pdf)  
<sup>31</sup> Information on planning obligations is set out in *Circular 3/2012: Planning Obligations and Good Neighbour Agreements* which states that they "have a limited, but useful, role to play in the development management process where they can be used to overcome obstacles to the grant of planning permission".  
<sup>32</sup> See the Scottish Government's guidance on *Planning Obligations and Good Neighbour Agreement – Circular 3/2012*. [www.scotland.gov.uk/Resource/0041/00410382.pdf](http://www.scotland.gov.uk/Resource/0041/00410382.pdf) Also see *Circular 4/98: The Use of Conditions in Planning Permissions*.

### 14. Risks

With any new development comes the risk of unintended consequences. We hope that hutting can thrive in a community spirited and ecologically sustainable way. However when things go wrong, some of the risks below may be subject to the use of planning enforcement powers.

#### Unauthorised sprawl and inappropriate use of huts

Care must be taken that low impact hut sites do not become unacceptably higher impact developments through incremental unauthorised sprawl or inappropriate uses. Such matters should be regulated under planning conditions, lease agreements and codes of practice. We are working on a voluntary code setting out good practice in site care and the rights and responsibilities of hutters and hut site managers or owners. A mediation or dispute resolution process should be in place to assist in situations where a problem arises. The planning authority will have the option of using enforcement powers should activities on the site contravene planning conditions.

Inappropriate use of huts may include use for some business purposes (particularly if high impact), use as permanent residences, and anything that creates pollution or nuisances such as noise. Under normal circumstances, it would be the responsibility of the site owner, manager or management body to regulate this, with clear provision made within the lease agreement.

### SITE MANAGEMENT, TENURE AND OWNERSHIP

#### 15. Management of hut sites

##### Participatory decision-making and management

Where there are a number of huts, there are aspects of hutting life that require oversight and management on behalf of the hutting community as a whole. This is best achieved through the establishment of a Hutterers Co-operative, Trust or other appropriate structure, with a representative committee which can make decisions and take action on matters such as: hut allocation; site management; ensuring that the character of huts stays within agreed definitions; and waste management and removal. A variety of management structures could be applied successfully to a hut site.

While there have been huts at Carbeth since the 1920s, the current management body, Carbeth Hutterers Community Company, was set up in 2008<sup>33</sup> in the run-up to the hutterers' buy-out of the land. The Company is run by its nominated directors who are elected democratically by the company's ordinary members to carry out work as required on their behalf. All directors are hutters and volunteers, and are elected at each AGM.

Work that Reforesting Scotland is undertaking with the Forestry Commission Scotland in scoping out the possibility of hutting pilot schemes on public forest land has already delivered some guidance on the governance of sites<sup>34</sup> where there are a number of huts.

<sup>33</sup> [www.carbethhuts.co.uk/#!/about/c15v1](http://www.carbethhuts.co.uk/#!/about/c15v1)

<sup>34</sup> FCS Huts Pilot Study Report is downloadable from [www.thousandhuts.org/?p=294](http://www.thousandhuts.org/?p=294)



Participants on a timber frame building course with architect Duncan Roberts. Photo: Falkland Centre for Stewardship.

## Land and woodland management

Particularly on sites where there are a number of huts, there will be a need for the hutters or the landowner to manage the surrounding land or woodland to a good ecological standard to retain the quality of the natural environment. Good management of the woodland is also important to maintain the stability of trees near huts and to reduce the risk of windblow. Responsibility for this will again depend on the agreement between hutter and landowner, but, as stated above, in sites with more than a few huts, it may be advantageous to set up a Hutters' Trust to share responsibility for this.

### Maintaining affordability

A key challenge of new hutting developments will be to help ensure that huts can be affordable for people of all income brackets, as they were traditionally. Hutting will happen in a variety of ways, but it is important not to lose sight of the particular benefits for society that can come when everyone has the possibility of affordable access to nature for recreation. Hutters' Trusts will have a key role in this, through their allocation policy and lease conditions. It will be important to consider the scope for increasing access to affordable huts through hutting on public land or community-owned land.

## 16. Tenure

Although tenure is not a planning consideration, it is included here as it raises some interesting issues affecting new hut developments.

Since it is difficult and expensive for most people to buy a piece of land to build a hut, many new hutters will need to follow the traditional model of hutting, whereby they build a hut on someone else's land and pay ground rent to the landowner.

### The challenge

Tenure is an issue of concern for many new and established hutters.<sup>35</sup> The traditional model where hutters build a hut on someone else's land and pay ground rent to a landowner, poses a challenge in terms of tenancy agreements as the hutter has made a large financial and emotional investment in a structure that may be difficult or expensive to move. This affects both the hutter's and the landowner's flexibility to make changes. Failure to establish a clear and fair agreement can have damaging consequences for both the hutter and the landowner.

### The importance of a formal contract

In the past agreements were often informal, and then as time went by, landowners were succeeded by their heirs or sold the land, and hutters found that they had no legal rights to the hut that may have been in their family for generations.

<sup>35</sup> The Scottish Executive report 'Huts' and 'Hutters' in Scotland (2000) states that in many of Scotland's historical hutting sites, "Hutters' occupy their plots as 'tenants' or 'licensees', generally paying an annual rental for their plot, though they may own the actual dwellings on the land. The nature of tenancy or licence arrangements is often uncertain." (page 5) [www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf](http://www.scotland.gov.uk/Resource/Doc/156526/0042031.pdf)

In new hutting, there are a variety of ways that an agreement may be made between hutter and landowner, but Reforesting Scotland strongly recommends that this is formalised in a contract agreed by both parties. Sometimes this will be between the landowner and an individual hutter, but in larger hut sites it may be between the landowner and a constituted hutters group. An additional agreement will then be needed between the hutter and the hutters group.

It should be expected that a hutting lease would contain some or all of the following, as well as addressing additional issues specific to the situation:

- The initial lease period, and the process for possible extension of the lease, with the agreement of both parties;
- Clear terms of lease, with agreements on service provision, responsibilities for site and hut maintenance, access, acceptable rent increases etc;
- Clear, fair notice periods and the processes for termination of lease and notice to quit;
- A clear, formal agreement on who holds rights to the hut during the lease period, and what happens to it when the lease is terminated. Will it be removed by the hut builder/owner? Can it be sold (and the lease reassigned)? Will it accede to the ownership of the landowner, and if so, will the landowner pay compensation to the hutter for this? Hutters and landowners should seek their own independent advice on how the law of accession affects this issue. See the box on the law of accession on page 26. It is essential for both parties that this issue is clarified in the lease.
- The process to be followed if the hutter decides to sell the hut: Does the tenancy continue with the new owner? Does the landowner get first refusal on the purchase of the hut? If the hutter has the right to sell the hut before the lease ends, does the landowner have a say in who purchases the hut (and takes up the lease)?

### A Voluntary Code of Good Practice

A Voluntary Code of Good Practice is being developed which will help hutters and landowners shape their formal contract. It is not a replacement for a legal agreement, but rather a supportive document for shaping an agreement that is fair to both hutter and landowner. Depending on how this works in the coming years it may be necessary to pursue legislation setting out the rights of hutters and landowners. However, ideally the voluntary code plus a robust formal contract should protect the rights of everyone involved.

The Voluntary Code contains guidance on:

- What the hutter has a right to expect from the agreement;
- What the landowner has a right to expect from the agreement;
- Responsibility to seek planning permission;
- Lease conditions; and
- Other issues such as waste removal.

## 17. Land ownership and new hutting developments

Whatever form of land ownership a hut site is under, it should embody the principles of good practice in hutting, including:

- Preserving affordability so that hutting is available to people from every income bracket, and can still be accessible from urban centres, as it was in the past;
- Demonstrating the qualities of well-planned site and hut design sympathetically situated in the natural environment, designed to the best low-impact standards of building – simple, affordable and ecologically sustainable; and
- Setting the standard of good practice for hut allocation and lease terms.



Hut building can be a great community-building activity. Photo: Karen Grant.

## The law of accession

The issue of who owns a hut, when the hutter and the landowner are not the same person is very complex in legal terms. The law of accession states that a building accedes to the owner of the land it is built on. This law does not apply to certain non-permanent buildings, but case law is unclear on the conditions of this. Historically, the law of accession has not been a great problem to hutters in Scotland. However, case law on whether you can make an agreement that a building built on land will not accede to the landowner at the end of the lease period is very complex. All hutters and landowners should seek their own independent advice on this matter.

In theory, as long as the lease is intact, the agreed hutter's rights should be intact. However hutters should be aware that once the lease ends, their legal rights to the hut are immediately compromised. So it is extremely important that the hutter and landowner have a clear formal agreement over who has rights to the hut for the duration of the lease, and the timeframe and process for the removal of the hut by the hutter or the accession of the hut to the landowner. If the lease agreement is that the hut would accede to the landowner at the end of the lease, they may wish to include a clause in the lease which would oblige the landowner to pay compensation to them for the hut. The hutter should also be sure to make a clear agreement about whether they are allowed to sell the hut before the lease ends and what is the procedure for this. If the agreement is that the hutter may remove the hut at the end of the lease period, the hutter may wish to design the hut with this in mind.

## Privately owned land

There could be very good opportunities for hutting on appropriate private land, both in terms of community benefit and sustainable rural development. We have found that many landowners and representative bodies like Scottish Land and Estates welcome the idea of new hutting. Prospective hutters may well find it worthwhile to approach landowners or their representative organisations about renting ground for hutting. See the section on Tenure on page 24 for further information. As long as there are fair and robust legal contracts between hutter and landowner, both parties can benefit from this arrangement.

## Opportunities for hut developments on public land

Public land lends itself particularly well to hutting developments because huts create opportunities for people to make lasting connections with the land, and with each other in a shared project. It would be hoped that hut sites under public ownership would make a particular priority of ensuring affordability and access to huts for people of all income brackets.

It may be that hutting could also be an appropriate development on Common Good land, as it not only gives the community benefit, it also brings in an income. Care should be taken to make sure any development is as inclusive as possible, to avoid use by a limited number of private interests conflicting with the wider public use of an area of common good land. However, since many areas of Common Good land currently have little or no community involvement, hutting use could represent an improvement.

Reforestation Scotland's Thousand Huts campaign has been working together with Forestry Commission Scotland to develop a pilot hut site on public forested land. A potential site has been identified, community consultation is progressing well, and issues of design, allocation and services are being developed. A pre-application has been submitted to Fife Council about the possible development. Much has already been gained through the process, in thinking about hut design,

hut leases and issues around community consultation and engagement for new hut sites. This pilot hut development can contribute greatly to the development of local authority policy on hut site development.

## Community owned or managed land

The growth in community ownership or management of land creates excellent opportunities for new hutting. Huts can be a very appropriate development on community-owned land for much the same reasons as those enjoyed by hut developments on public land, but with the added benefits of community empowerment through the ownership and management of community assets. They are an excellent way of creating long-term connections between the community and the land and stimulating community co-operation and cohesion. They can help keep hutting affordable for the disadvantaged in the community, and can also bring in a sustainable income from the community asset.

## Other models of ownership

We often hear from groups of friends or other communities of interest who wish to pool their resources and buy land co-operatively with the idea of developing a hut site. There is great scope for this approach. The Thousand Huts Facebook page is frequently the site of energetic debate and networking on that subject. We hope in future to be able to produce a fact sheet for groups wishing to explore this approach.



Ms Jess Windsor  
per Urban Animation  
Per Richard Heggie  
22 Westhall Gardens  
Edinburgh  
Scotland

**Please ask for:** Ranald Dods  
**☎** 01835 825239  
**Our Ref:** 19/01256/FUL  
**Your Ref:**  
**E-Mail:** ranald.dods@scotborders.gov.uk  
**Date:** 11th May 2020

Dear Sir/Madam

**PLANNING APPLICATION AT Land East Of Wester Deans West Linton Scottish Borders**

**PROPOSED DEVELOPMENT:** Erection of 15 No huts with associated access and car parking

**APPLICANT:** Ms Jess Windsor

Please find attached the formal notice of refusal for the above application.

Drawings can be found on the Planning pages of the Council website at <https://eplanning.scotborders.gov.uk/online-applications/>.

Your right of appeal is set out within the decision notice.

Yours faithfully

John Hayward

Planning & Development Standards Manager

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (as amended)**

**Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013**

**Application for Planning Permission**

**Reference : 19/01256/FUL**

**To : Ms Jess Windsor per Urban Animation Per Richard Heggie 22 Westhall Gardens Edinburgh  
Scotland EH10 4JQ**

With reference to your application validated on **2nd September 2019** for planning permission under the Town and Country Planning (Scotland) Act 1997 (as amended) for the following development :-

**Proposal : Erection of 15 No huts with associated access and car parking**

**at : Land East Of Wester Deans West Linton Scottish Borders**

The Scottish Borders Council hereby **refuse** planning permission for the **reason(s) stated on the attached schedule**.

**Dated 7th May 2020  
Regulatory Services  
Council Headquarters  
Newtown St Boswells  
MELROSE  
TD6 0SA**

**John Hayward  
Planning & Development Standards Manager**

**APPLICATION REFERENCE : 19/01256/FUL**

**Schedule of Plans and Drawings Refused:**

Plan Ref	Plan Type	Plan Status
1 of 7	Location Plan	Refused
2 of 7	Proposed Site Plan	Refused
3 of 7	Proposed Site Plan	Refused
4 of 7	Proposed Site Plan	Refused
5 of 7	Proposed Site Plan	Refused
6 of 7	Proposed Plans & Elevations	Refused
7 of 7	Report	Refused

**REASON FOR REFUSAL**

- 1 The development would be contrary to Policy ED7 of the Local Development Plan 2016 in that it would not respect the amenity and character of the surrounding area as a result of its visual impact, and would fail to comply with all the siting and design criteria set out in Policy PMD2, as required by Policy ED7, in that it would not be compatible with and respect the character of the surrounding area, and no overriding case for the development has been substantiated. Other material considerations do not outweigh this conflict.
- 2 The development would be contrary to Policy PMD1 of the Local Development Plan 2016 in that the location of the site would mean that there would be significant reliance on private vehicles, with limited potential for the development to be accessed by other transport modes including public transport, ultimately amounting to unsustainable development. No overriding case for the development has been substantiated. Other material considerations do not outweigh this conflict.

**FOR THE INFORMATION OF THE APPLICANT**

If the applicant is aggrieved by the decision of the Planning Authority to refuse planning permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under Section 43A of the Town and Country Planning (Scotland) Act 1997 (as amended) within three months from the date of this notice.

The notice of review must be submitted on the standard form and addressed to the Clerk of The Local Review Body, Democratic Services, Scottish Borders Council, Council Headquarters, Newtown St Boswells, TD6 0SA or sent by email to [localreview@scotborders.gov.uk](mailto:localreview@scotborders.gov.uk). The standard form and guidance notes can be found online at [Appeal a Planning Decision](#). Appeals to the Local Review Body can also be made via the Scottish Government Planning and Environmental Appeals Division by clicking on the following link [PEAD](#)

If permission to develop land is refused or granted subject to conditions, whether by the Planning Authority or by the Scottish Ministers, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner may serve on the Planning Authority a purchase notice requiring the purchase of his interest in the land in accordance with the provisions of Part 5 of the Town and Country Planning (Scotland) Act 1997 (as amended).

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**SCOTTISH BORDERS COUNCIL**

**APPLICATION TO BE DETERMINED UNDER POWERS DELEGATED TO  
CHIEF PLANNING OFFICER**

**PART III REPORT (INCORPORATING REPORT OF HANDLING)**

**REF :** 19/01256/FUL

**APPLICANT :** Ms Jess Windsor

**AGENT :** Urban Animation

**DEVELOPMENT :** Erection of 15 No huts with associated access and car parking

**LOCATION:** Land East Of Wester Deans  
West Linton  
Scottish Borders

**TYPE :** FUL Application

**REASON FOR DELAY:** Late Submission of Information

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**DRAWING NUMBERS:**

Plan Ref	Plan Type	Plan Status
1 of 7	Location Plan	Refused
2 of 7	Proposed Site Plan	Refused
3 of 7	Proposed Site Plan	Refused
4 of 7	Proposed Site Plan	Refused
5 of 7	Proposed Site Plan	Refused
6 of 7	Proposed Plans & Elevations	Refused
7 of 7	Report	Refused

**NUMBER OF REPRESENTATIONS: 1**

**SUMMARY OF REPRESENTATIONS:**

One representation was received. That commented that the application lacked information relating to the ownership and management arrangements for the site.

Consultation responses were received from:

Roads - concern expressed about the access and more specifically access to each of the individual huts. The proposed paths leading to each of the huts are only 1.5 metres wide and as such they do not provide emergency access to them for fire tenders in the event of an emergency. In order for them to comply with Building Regulations, a vehicle access route for fire-fighting vehicles from a public road must reach within 45 metres of the unit and have a minimum width of 3.7 metres. The minimum axle loading of 14 tonne for the access route will be required along with appropriate turning. An amended access plan is required addressing the above points or justification as to why this infrastructure is not required. Having asked colleagues in Building Standards for clarification on this matter, they advise that there is not currently a requirement for fire vehicle access, even taking the installation of wood burning stoves into consideration.

Landscape Architect - no objection, subject to conditions. The site is an upland plateau landscape, one of two areas covered by this description lying between the Pentland and Moorfoots Hills, characterised by hills and ridges covered by a mosaic of coarse grassland, heather and forestry. There is a mosaic of land cover and there is low density settlement in this area. The part of the LCT

that the site is within is more rolling upland plateau than hills and ridges, with improved and unimproved agricultural land punctuated by plantation woodlands and shelterbelts. The perception of the landscape of this LCT is of an open and exposed landscape, through which a network of major and minor routes travel meaning that there is relatively high visual sensitivity, however the rolling nature of the immediate landscape does limit intervisibility to some extent from surrounding areas and the main roads that run in a north south direction. Commercial forestry was felled in 2009 and a replanting programme to create a mixed woodland was undertaken, with mixed success, resulting in a site that has Sitka spruce regeneration to the north end and some planted and regenerating deciduous trees scattered thinly across the site, with the southern end largely open. The Landscape Architect does not have serious concerns about the visual impact of the proposed huts. The first third of the site has good tree cover and should be able to accommodate huts without any negative visual impacts arising. If natural regeneration of native broadleaves could be encouraged and a supplementary native tree and scrubby understorey scheme could be drawn up for the more southern 2/3rd of site so that the huts are assimilated into the wider landscape more quickly and successfully, the Landscape Architect would have no further concerns about this development.

Environmental Health - further information required. The application states that the huts will be serviced by composting toilets but there is no information on where this material is to be deposited and how it will be managed so as not to cause nuisance. Details should also be provided regarding the source of water for the occupants of the huts.

Ecology Officer - no objection, subject to conditions. The Ecology Officer considers the development is acceptable in terms on LDP policies EP1, EP2 and EP3 provided planning conditions are attached for a construction environmental management plan (CEMP) and a species protection plan for breeding birds.

#### **PLANNING CONSIDERATIONS AND POLICIES:**

Scottish Borders Local Development Plan 2016

PMD1 - Sustainability

PMD2 - Quality standards

ED7 - Business, tourism and leisure in the countryside

EP1 - International nature conservation sites and protected species

EP2 - National nature conservation sites and protected species

EP3 - Local biodiversity

EP13 - Trees, woodlands and hedgerows

IS7 - Parking provision and standards

The site is not strategic, therefore the policies contained within SESplan have not been considered.

The following council guidance is material:

Biodiversity;

Placemaking and design;

Trees and development;

Waste management.

**Recommendation by** - Ranald Dods (Planning Officer) on 7th May 2020

Site and proposal

The site is located within the countryside some 6km east of West Linton and accessed from a minor road which connects the A703 (some 2.5km to the east) to the A701 (1.6km to the north west). The site was commercial forestry which was felled in 2009 and some replanting has taken place on the site with Sitka spruce regeneration to the north end and some planted and regenerating deciduous trees scattered thinly across the site. The southern part of the site is largely open to view. There are no buildings on the site.

The application for planning permission 15 huts with associated access and parking. The plan indicates a broadly "L" shaped track with the huts sited either side of that. The shorter portion of the site, running in a vaguely north westerly direction, is about 200m long and would be occupied by four huts. The longer section, running roughly south east, is in the order of 410m and would accommodate 11 huts. Parking and

turning areas would be located at the junction of the two portions of the site. The larger of those parking areas would be some 33m by 23m and would be capable of accommodating in the order of 24 cars. The smaller area would be roughly 6.5m by 21m, which would equate to space for approximately 8 cars.

The applicant proposes some additional tree planting around each hut plot. No lighting will be installed throughout the site. Of the 15 huts, eight would measure 5.2m by 3.6m. The remaining seven would be 6.1m by 3.6m. Both sizes of huts would be 4m to ridge. Since there would not be a connection to a water supply, owners would be expected to transport water to the huts. Each hut would have a wood burning stove and a composting toilet on the inside. The applicant states that the compost material would be subject to additional compost heap treatment as required and that would be retained on site.

Although the applicant has submitted supporting statements for this application, for which I have taken account in my consideration of the application, they were asked to submit a business plan and some indication of how the site would be managed and ownership issues addressed. No business plan was provided and the applicant stated that the proposal is not a commercial venture but that the huts and a portion of woodland would be sold off individually. In terms of management of the site, the applicant states that the responsibility for maintenance and management of the access, paths and fencing would lie jointly with all the owners of the huts. No further details of the hutters' association or management code referred to in the supporting information were provided.

#### Site history

There is some planning history associated with this site. 09/01362/FUL for the retrospective siting of 2 temporary residential caravans was refused permission in December 2009. No objection was made to the erection of two woodstores, reference 10/01379/AGN. An objection was raised to an application for Prior Notification (reference 13/00264/PN) for the erection of forestry workers' accommodation and a storage shed.

#### Principle

Scottish Planning Policy 2014 defines a hut as a simple building used intermittently as recreational accommodation, having an internal floor area of no more than 30m<sup>2</sup>, constructed from low impact materials, generally not connected to mains water, electricity or sewerage and built in such a way that it is removable with little or no trace at the end of its life. The buildings proposed in this application would meet that definition.

The huts proposed in this application would be for leisure use and, as such, policy ED7 applies. That policy sets out that proposals for business, tourism or leisure development in the countryside will be approved provided that, amongst other things, the development is to be used directly for leisure, recreation or tourism appropriate to a countryside location. In addition the following criteria, amongst others, will also be considered: the development must respect the amenity and character of the surrounding area; the development must have no significant adverse impact on nearby uses, particularly housing and; the development meets all other siting and design criteria in accordance with policy PMD2.

It is accepted that such a leisure use would require a countryside location and that nearby uses would not be affected to a significant adverse degree. What is at issue, however, is the impact the development would have on the area and the compliance with PMD2, and its accessibility, as required by PMD1.

#### Landscape and visual impact

Of particular relevance to this proposal is the requirement of policy PMD2 that developments incorporate appropriate landscaping works, which includes structural or screen planting to help integrate the development with the surroundings. Although the site was previously a commercial forestry, that was felled in 2009 and a replanting programme to create a mixed woodland was undertaken, with mixed success, resulting in a site that has Sitka spruce regeneration to the north end and some planted and regenerating deciduous trees scattered thinly across the site, with the southern end largely open. The site sits in a low point of the landscape and the lack of tree cover means it is exposed to views. It is particularly visible from the public road, especially to the south east. Although the Landscape Architect did not object in principle, she did suggest a tree planting scheme to include in the order of 1100 trees, of which 770 would be towards the south eastern edge of the site, in order to assimilate the development into the wider landscape. The applicant subsequently provided a sketch plan for planting which, in order to supplement the approximately 200 trees presently on site, appeared to propose additional planting including 180 trees to the south east of

the site. The proposed landscaping plan is schematic and lacking precise detail of species mix, planting distances or programmes of implementation and maintenance.

Even if that planting were to take place, until it became well established, the southern part of the site would remain largely open and would be particularly visible when viewed from the public road to the south east. As there has been limited success with tree planting works already undertaken elsewhere on the site, there may be similar problems encountered with the planting proposed by the applicant, meaning at best the site would be exposed for many years until the tree planting became well established or at worst, totally exposed if the planting failed to establish. In addition, no details have been provided for the long term management of the woodland, other than a statement that each owner will purchase a share of the woodland and will be required to maintain it in accordance with Forestry and Land Scotland requirements for the site. Without sufficient trees already being well established to provide suitable screening for the huts and in the absence of a management plan for that woodland, the application appears premature. Until then, this development would appear as a scattering of fifteen buildings in a partly exposed rural location with little landscape assimilation, and this landscape and visual impact would not reflect the requirements of PMD2 or ED7.

#### Accessibility

PMD1 requires encouragement of walking, cycling and public transport in preference to the private car. Whilst there are numerous hutting sites within the Borders, those are historic sites and are generally in locations, such as those at Peebles, Carllops and Eddleston, which are readily accessible by public transport. This site does not benefit from being in an accessible location and would be particularly dependent upon access being gained by private car. It is acknowledged that it is theoretically possible to access the site by foot or potentially bicycle using rights of way BT4 from Craighburn to the north and BT5 from Nether Falla to the east but both those rights of way stop when they meet the public road meaning the last 500m would be on a single track public road with no footpath. Even taking that into account, the distance from the A703 to the entrance of the site is 3.31km and 2.58km respectively. From the A701, the only pedestrian access would be along 1.5km of single track public road from Whim Farm. The applicant states that the walk from the nearest bus halt would take a little under 26 minutes - this is at the outer edge of what could be considered an appropriate walking distance. What also must be factored in is the potential for many travellers to be carrying bags and other items. The expectation is that hut owners would carry water to the site and waste from it and it is more than likely that journeys involving those tasks would be undertaken by car rather than more sustainable forms of transport. The parking provision for in the order of 32 cars appears to indicate that the applicant expects that cars would be used commonly to access the site. The reasonable likelihood is that most users will travel by car, and that this development is likely to encourage car use, above that of other modes, contrary to Policy PMD1.

#### Amenity and privacy

Notwithstanding above matters regarding the principle of development, the site is remote from house (the closest property is over 400m distant) and is unlikely to have an impact on the amenity and privacy of the houses which are closest to the site.

#### Services

The huts will not be connected to a water supply or foul drainage network. The applicant has stated that hut owners will be expected to transport their own supply of water to the huts. As noted above, each hut would have a composting toilet. The applicant has stated that composted material will be stored on site. There will be no recycling or general waste storage on the site and the applicant states that the owners will be expected to remove that waste from the site and use their own domestic waste collection service. Details can be secured by condition of these measures, to ensure they can be suitably regulated, if the application were approved.

#### Roads issues

The Roads Planning Service (RPS) has expressed concern regarding the access to the huts. They noted that although the buildings may be exempt from building warrant, they still need to comply with the Regulations. This matter has been clarified with Building Standards and fire tender access does not appear to be required in terms of the current non-domestic technical handbook. The number of parking spaces proposed is acceptable to RPS as it is unlikely that all huts would be occupied at the same time if the site was developed as proposed.

#### Air quality

Each hut would be provided with a wood burning stove. I note that Environmental Health has not commented on that aspect. The site is remote enough to ensure that the inclusion of wood burning stoves will not be detrimental to local air quality.

#### Ecology

The applicant submitted an ecological impact assessment in support of the application. The council's Ecology Officer has assessed that and is satisfied with its contents and I have no reason to question that assessment. Conditions were recommended in the event of permission being granted.

#### Trees

The site is in an area formerly occupied by commercial forestry. Some replanting and self-regeneration has taken place although none of the trees on site is of any great age or maturity. The application is not supported by a tree survey and it is therefore difficult to gauge accurately the potential impact of the proposal on the trees which are present on the site. While the value of these trees in themselves is not a serious concern, the apparent absence of account for them adds to concerns noted above regarding the landscape and visual impact of the proposal.

#### Conclusion

The site is formerly a commercial forest which was clear felled in 2009 and is sparsely populated with trees of no great age or height. The tree planting which has been undertaken recently is not sufficiently mature or established. Although the proposed development is associated with leisure use, it would not be well integrated into the surroundings and wider environment and any proposed planting would take many years to establish. The site is also not in a sustainable location and would be substantially reliant on private vehicles for access. The proposed development would, as a result, be contrary to policies PMD1, PMD2 and ED7.

#### **REASON FOR DECISION :**

The development would be contrary to Policy ED7 of the Local Development Plan 2016 in that it would not respect the amenity and character of the surrounding area as a result of its visual impact, and would fail to comply with all the siting and design criteria set out in Policy PMD2, as required by Policy ED7, in that it would not be compatible with and respect the character of the surrounding area, and no overriding case for the development has been substantiated. Other material considerations do not outweigh this conflict.

The development would be contrary to Policy PMD1 of the Local Development Plan 2016 in that the location of the site would mean that there would be significant reliance on private vehicles, with limited potential for the development to be accessed by other transport modes including public transport, ultimately amounting to unsustainable development. No overriding case for the development has been substantiated. Other material considerations do not outweigh this conflict.

#### **Recommendation: Refused**

- 1 The development would be contrary to Policy ED7 of the Local Development Plan 2016 in that it would not respect the amenity and character of the surrounding area as a result of its visual impact, and would fail to comply with all the siting and design criteria set out in Policy PMD2, as required by Policy ED7, in that it would not be compatible with and respect the character of the surrounding area, and no overriding case for the development has been substantiated. Other material considerations do not outweigh this conflict.
- 2 The development would be contrary to Policy PMD1 of the Local Development Plan 2016 in that the location of the site would mean that there would be significant reliance on private vehicles, with limited potential for the development to be accessed by other transport modes including public transport, ultimately amounting to unsustainable development. No overriding case for the development has been substantiated. Other material considerations do not outweigh this conflict.

**“Photographs taken in connection with the determination of the application and any other associated documentation form part of the Report of Handling”.**



Newtown St Boswells Melrose TD6 0SA Tel: Payments 01835 825251/System Help 01835 826705 Email: corporatebusinesssystems@scotborders.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100178051-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

### Type of Application

What is this application for? Please select one of the following: \*

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

### Description of Proposal

Please describe the proposal including any change of use: \* (Max 500 characters)

Hutting Development (15 Huts) with associated access and car parking

Is this a temporary permission? \*  Yes  No

If a change of use is to be included in the proposal has it already taken place?  Yes  No  
(Answer 'No' if there is no change of use.) \*

Has the work already been started and/or completed? \*

- No  Yes – Started  Yes - Completed

### Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)  Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	Urban Animation		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Richard	Building Name:	
Last Name: *	Heggie	Building Number:	22
Telephone Number: *	0131 477 0676	Address 1 (Street): *	Westhall Gardens
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	Scotland
		Postcode: *	EH10 4JQ
Email Address: *	richard@urban-animation.com		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	Ms	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	Flat 12
First Name: *	Jess	Building Number:	
Last Name: *	Windsor	Address 1 (Street): *	11 Westfield Road
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Edinburgh
Extension Number:		Country: *	Scotland
Mobile Number:		Postcode: *	EH11 2QS
Fax Number:			
Email Address: *			

## Site Address Details

Planning Authority:

Scottish Borders Council

Full postal address of the site (including postcode where available):

Address 1:

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

Post Code:

Please identify/describe the location of the site or sites

Northing

652095

Easting

322227

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

Yes  No

## Site Area

Please state the site area:

1.31

Please state the measurement type used:

Hectares (ha)  Square Metres (sq.m)

## Existing Use

Please describe the current or most recent use: \* (Max 500 characters)

Woodland

## Access and Parking

Are you proposing a new altered vehicle access to or from a public road? \*

Yes  No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? \*  Yes  No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? \*

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

**Water Supply and Drainage Arrangements**

Will your proposal require new or altered water supply or drainage arrangements? \*  Yes  No

Do your proposals make provision for sustainable drainage of surface water?? \*  Yes  No  
(e.g. SUDS arrangements) \*

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? \*

Yes

No, using a private water supply

No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

**Assessment of Flood Risk**

Is the site within an area of known risk of flooding? \*  Yes  No  Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? \*  Yes  No  Don't Know

**Trees**

Are there any trees on or adjacent to the application site? \*  Yes  No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

**Waste Storage and Collection**

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? \*  Yes  No

If Yes or No, please provide further details: \* (Max 500 characters)

n/a

## Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? \*

Yes  No

## All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? \*

Yes  No

## All Types of Non Housing Development – Proposed New Floorspace Details

For planning permission in principle applications, if you are unaware of the exact proposed floorspace dimensions please provide an estimate where necessary and provide a fuller explanation in the 'Don't Know' text box below.

Please state the use type and proposed floorspace (or number of rooms if you are proposing a hotel or residential institution): \*

Not in a Use Class

Gross (proposed) floorspace (In square meters, sq.m) or number of new (additional) Rooms (If class 7, 8 or 8a): \*

298

If Class 1, please give details of internal floorspace:

Net trading spaces:

Non-trading space:

Total:

If Class 'Not in a use class' or 'Don't know' is selected, please give more details: (Max 500 characters)

Hutting use (recreational woodland huts)

## Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) \*

Yes  No  Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*

Yes  No

## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*  Yes  No

Is any of the land part of an agricultural holding? \*  Yes  No

Are you able to identify and give appropriate notice to ALL the other owners? \*  Yes  No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate B

## Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

I hereby certify that

(1) - No person other than myself/the applicant was an owner [Note 4] of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application;

or –

(1) - I have/The Applicant has served notice on every person other than myself/the applicant who, at the beginning of the period of 21 days ending with the date of the accompanying application was owner [Note 4] of any part of the land to which the application relates.

Name:

Mr Nicholas Windsor

Address:

7, Oaks Way, Long Ditton, Surrey, England, KT65DX

Date of Service of Notice: \*

27/08/2019

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding;

or –

(2) - The land or part of the land to which the application relates constitutes or forms part of an agricultural holding and I have/the applicant has served notice on every person other than myself/himself who, at the beginning of the period of 21 days ending with the date of the accompanying application was an agricultural tenant. These persons are:

Name:

Address:

Date of Service of Notice: \*

Signed: Richard Heggie

On behalf of: Ms Jess Windsor

Date: 27/08/2019

Please tick here to certify this Certificate. \*

## Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? \*

Yes  No  Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? \*

Yes  No  Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? \*

Yes  No  Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? \*

Yes  No  Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

Site Layout Plan or Block plan.

Elevations.

Floor plans.

Cross sections.

Roof plan.

Master Plan/Framework Plan.

Landscape plan.

Photographs and/or photomontages.

Other.

If Other, please specify: \* (Max 500 characters)

Habitat Survey and accompanying letter

Provide copies of the following documents if applicable:

A copy of an Environmental Statement. \*

Yes  N/A

A Design Statement or Design and Access Statement. \*

Yes  N/A

A Flood Risk Assessment. \*

Yes  N/A

A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). \*

Yes  N/A

Drainage/SUDS layout. \*

Yes  N/A

A Transport Assessment or Travel Plan

Yes  N/A

Contaminated Land Assessment. \*

Yes  N/A

Habitat Survey. \*

Yes  N/A

A Processing Agreement. \*

Yes  N/A

Other Statements (please specify). (Max 500 characters)

NB- letter from Habitat Surveyor to be read in conjunction with Habitat Survey

## **Declare – For Application to Planning Authority**

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Richard Heggie

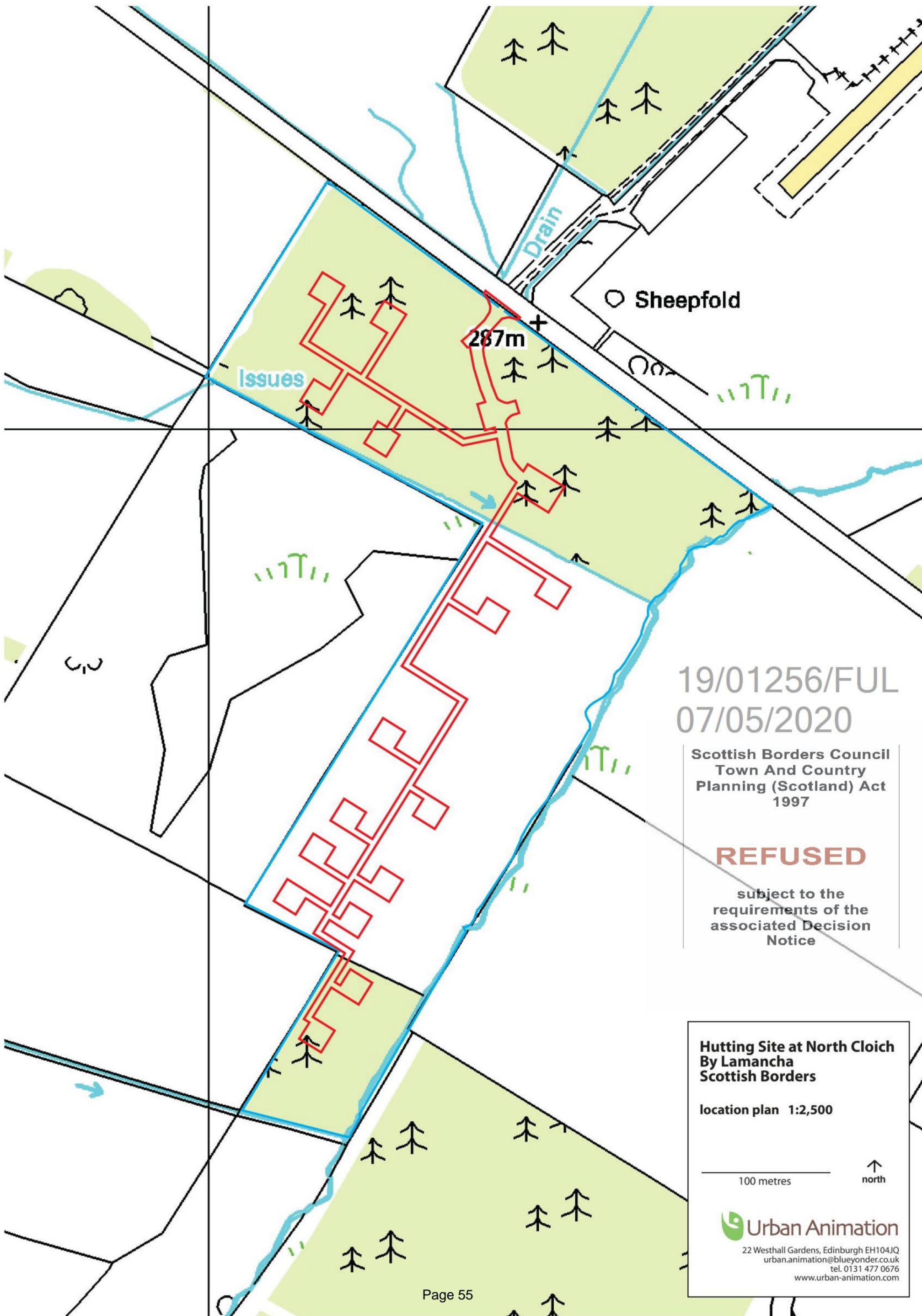
Declaration Date: 27/08/2019

## **Payment Details**

Cheque: Jess Windsor, 1

Created: 27/08/2019 10:03

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287m

○ Sheepfold

Issues

19/01256/FUL  
07/05/2020

Scottish Borders Council  
Town And Country  
Planning (Scotland) Act  
1997

**REFUSED**

subject to the  
requirements of the  
associated Decision  
Notice

**Hutting Site at North Cloich  
By Lamancha  
Scottish Borders**

location plan 1:2,500

100 metres

↑  
north

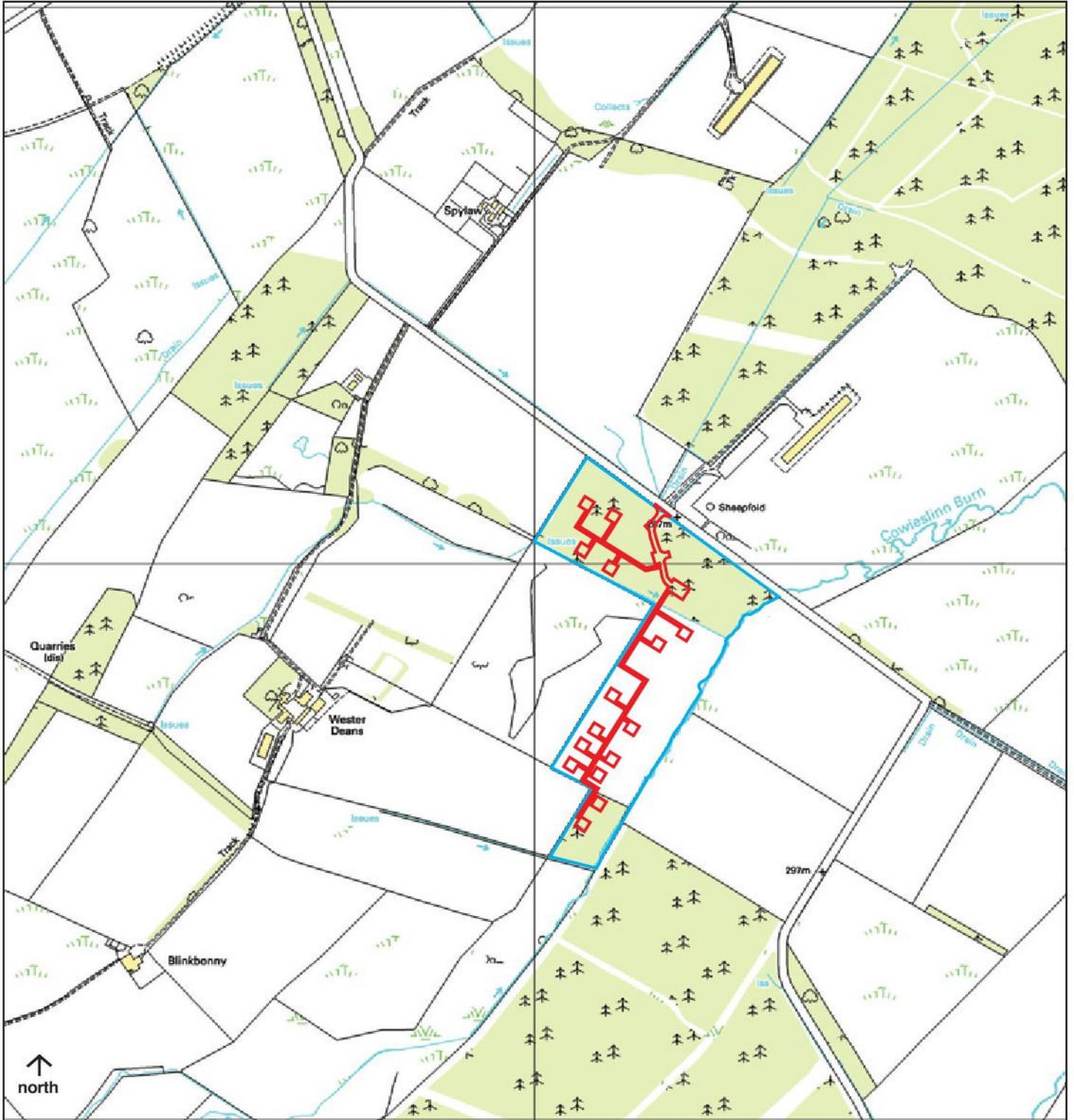
 **Urban Animation**

22 Westhall Gardens, Edinburgh EH104JQ  
urban.animation@blueyonder.co.uk  
tel. 0131 477 0676  
www.urban-animation.com

North to Leadburn

South to Lamancha

To Whim



location plan 1:10,000

19/01256/FUL  
07/05/2020

To Eddleston

400 metres

Scottish Borders Council  
Town And Country  
Planning (Scotland) Act  
1997

**REFUSED**

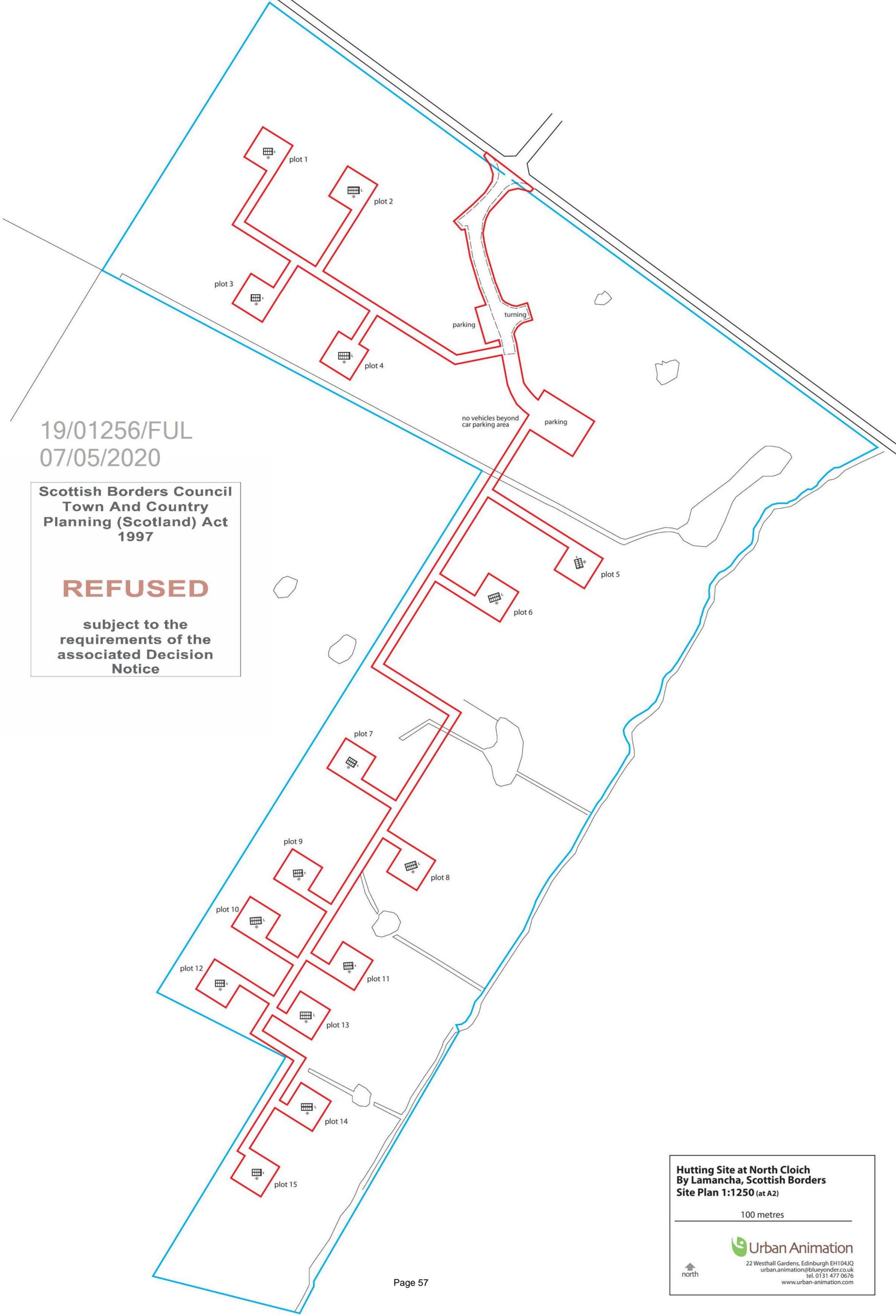
subject to the  
requirements of the  
Planning Decision  
Notice

Page 56

**Hutting Site at North Cloich  
By Lamancha  
Scottish Borders**

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info@urban-animation.com  
tel. 0131 477 0676  
www.urban-animation.com



19/01256/FUL  
07/05/2020

Scottish Borders Council  
Town And Country  
Planning (Scotland) Act  
1997

**REFUSED**

subject to the  
requirements of the  
associated Decision  
Notice

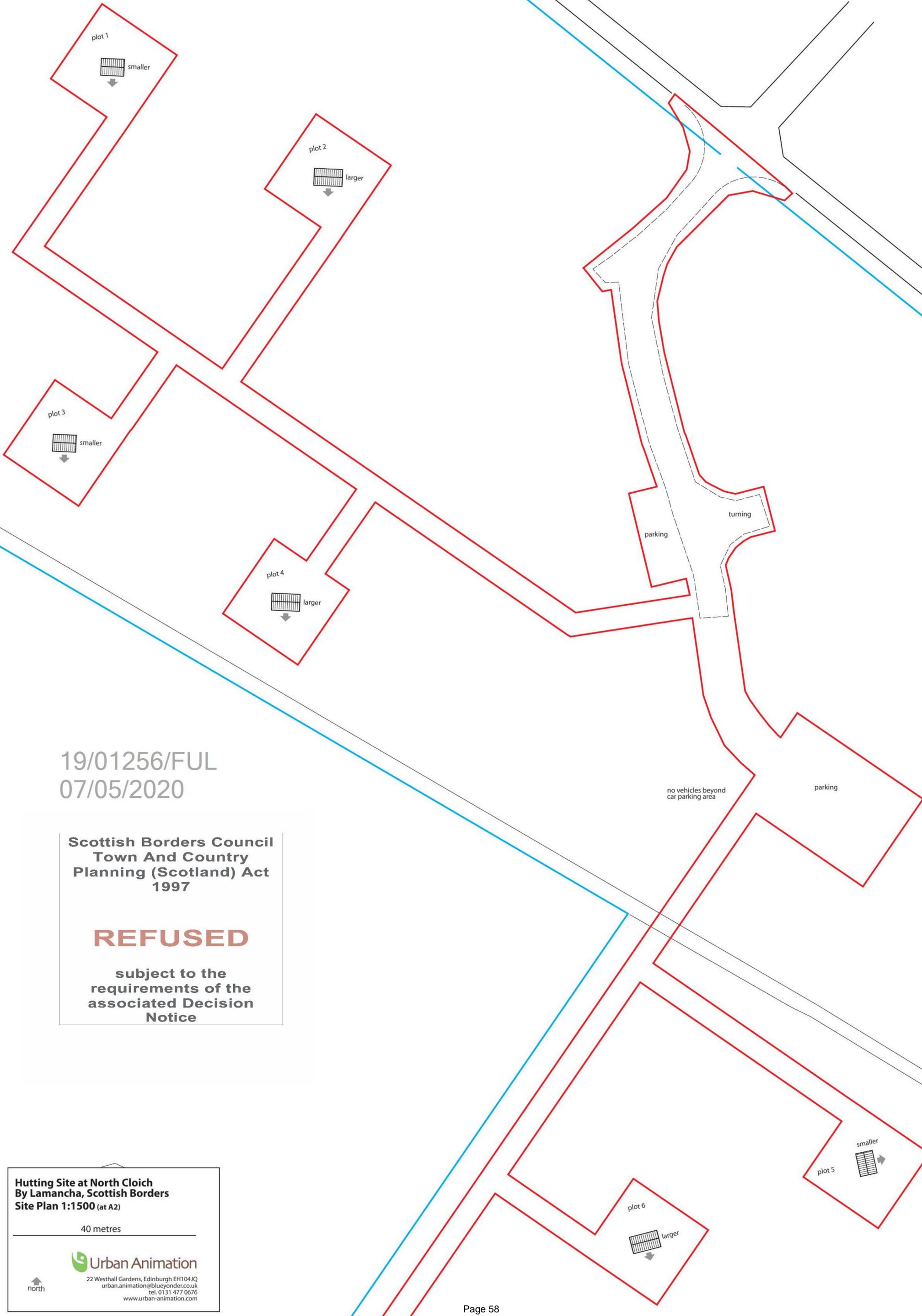
Hutting Site at North Cloich  
By Lamancha, Scottish Borders  
Site Plan 1:1250 (at A2)

100 metres

 Urban Animation

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tel. 0131 477 0676  
www.urban-animation.com





19/01256/FUL  
07/05/2020

**Scottish Borders Council  
Town And Country  
Planning (Scotland) Act  
1997**

**REFUSED**

subject to the  
requirements of the  
associated Decision  
Notice

**Hutting Site at North Cloich  
By Lamancha, Scottish Borders  
Site Plan 1:1500 (at A2)**

40 metres

 **Urban Animation**  
22 Westhall Gardens, Edinburgh EH104JQ  
urban.animation@blueyonder.co.uk  
tel. 0131 477 0676  
www.urban-animation.com

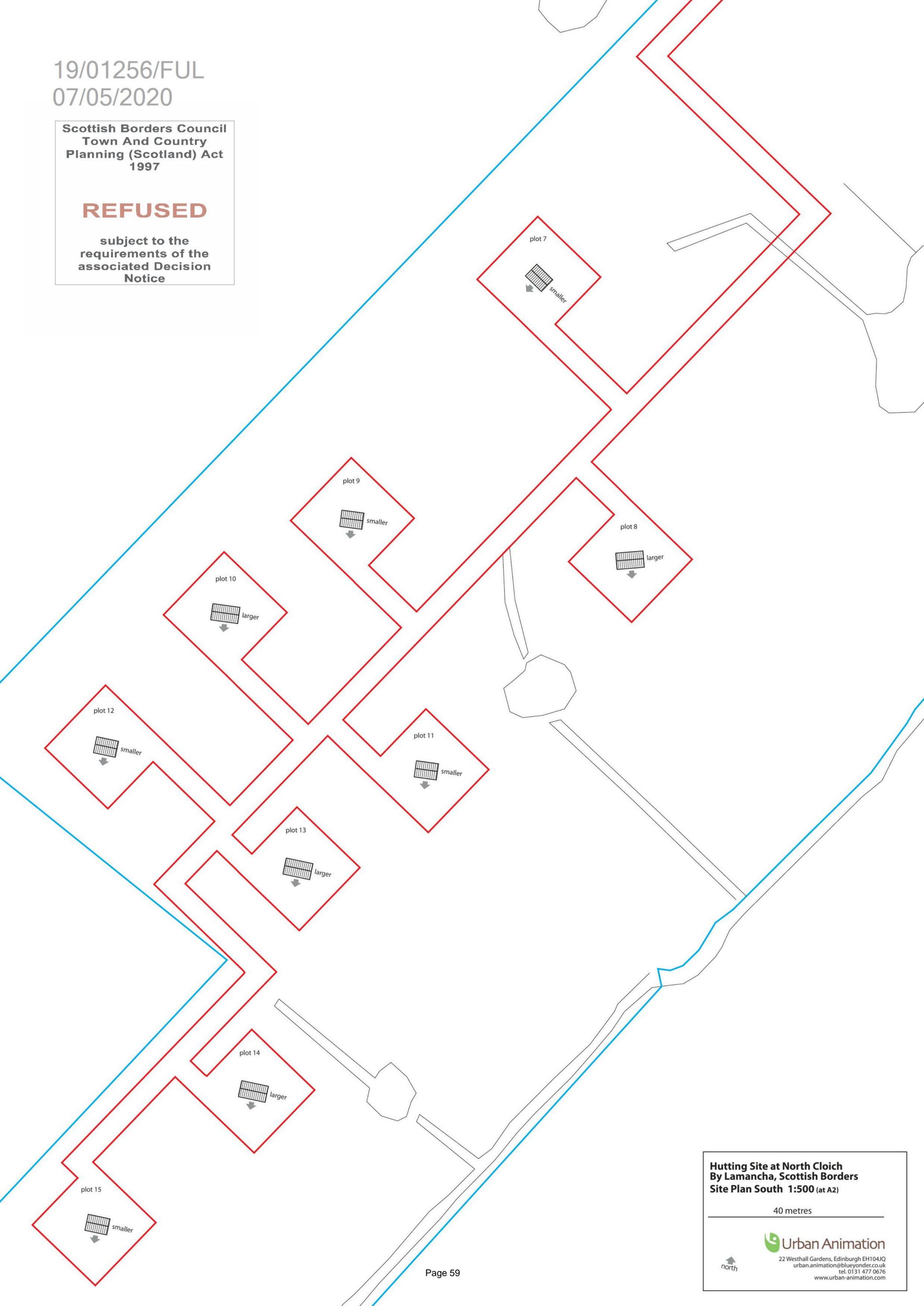
north

19/01256/FUL  
07/05/2020

Scottish Borders Council  
Town And Country  
Planning (Scotland) Act  
1997

**REFUSED**

subject to the  
requirements of the  
associated Decision  
Notice



**Hutting Site at North Cloich  
By Lamancha, Scottish Borders  
Site Plan South 1:500 (at A2)**

40 metres

 **Urban Animation**  
22 Westhall Gardens, Edinburgh EH104JQ  
urban.animation@blueyonder.co.uk  
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www.urban-animation.com

 north

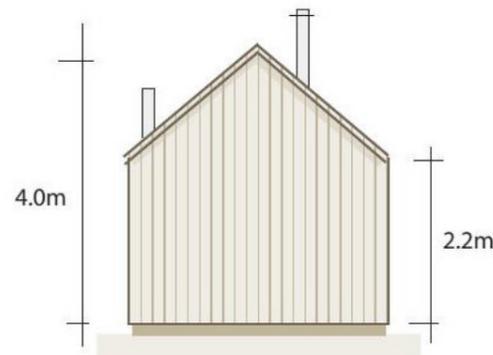
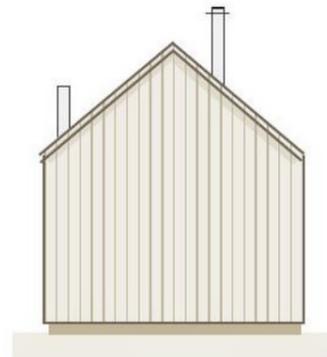
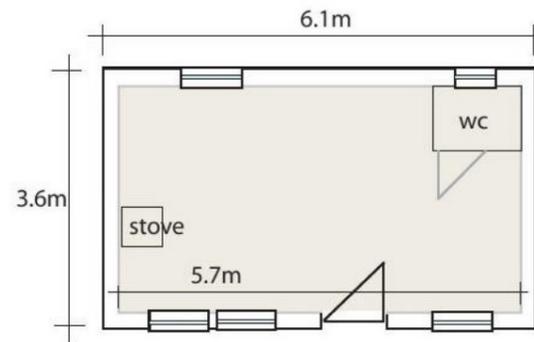
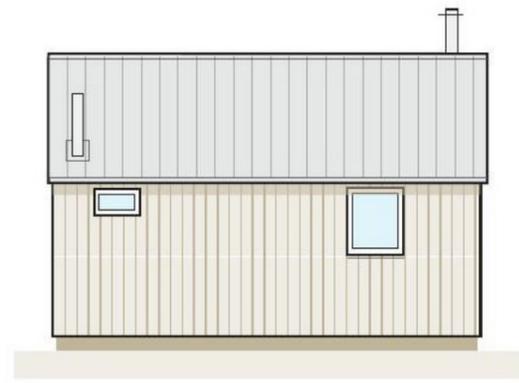
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Scottish Borders Council  
Town And Country  
Planning (Scotland) Act  
1997

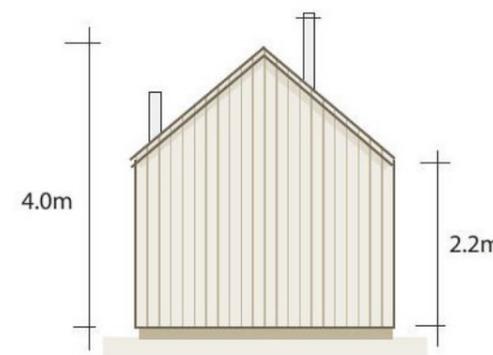
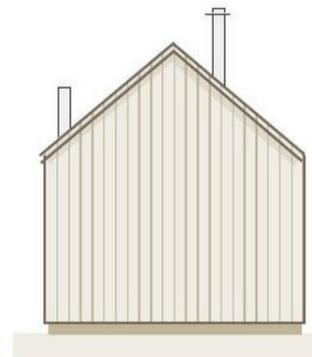
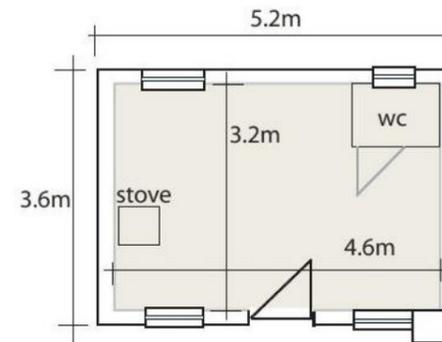
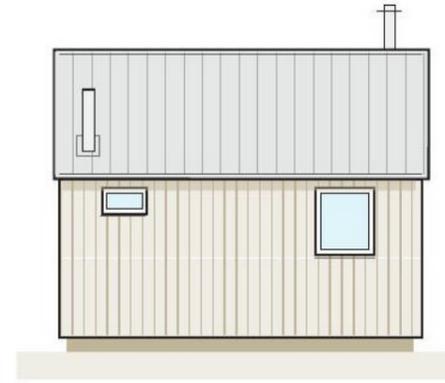
**REFUSED**

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Notice

Larger Hut



Smaller Hut



**HUT DESIGNS :**

Walls - natural timber boarding  
Roof - Profiled onduline sheeting, colour green or as agreed with planning authority  
Windows, timber frames stained grey  
Flue - black

**Smaller Hut**

Internal Dimensions 4.6 x 3.2 metres  
Internal Floorspace = 14.72m<sup>2</sup>  
External 5.0 x 3.6 metres  
Gross floorspace = 18m<sup>2</sup>

**Larger Hut**

Internal Dimensions 5.7 x 3.2 metres  
Internal Floorspace = 18.24m<sup>2</sup>  
External 6.1 x 3.6 metres  
Gross floorspace = 21.96m<sup>2</sup>

**Scale 1:100**



**Hutting Site at North Cloich  
By Lamancha, Scottish Borders**



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requirements of the  
associated Decision  
Notice

19/01256/FUL  
07/05/2020

**Design & Access Statement and Planning Statement**  
**Change of Use from Woodland to Hutting (15 Huts)**  
**North Cloich Wood, By Cowdenburn**  
**Scottish Borders**  
July 2019

## Design Statement :

### **Change of Use from Woodland to Hutting (15 Huts) at North Cloich Wood By Cowdenburn Scottish Borders**

#### **1. Introduction**

#### **2. Context**

#### **3. The Site**

#### **4. The Hutting Development**



Urban Animation  
22 Westhall Gardens  
Edinburgh  
EH10 4JQ

t. 0131 477 0676 / 0775 106 4937  
e. info@urban-animation.com

www.urban-animation.com

## 1. Introduction

1.1 This Design Statement supports the planning application for a new hutting site at North Cloich Wood, by Cowdenburn, Scottish Borders. It explains how the proposed huts can be accommodated to achieve an attractive, well designed and accessible development.

## 2. Context

2.1 The 1000 Huts Campaign launched June 2011 in response to growing demand from a wide range of people, both urban and rural, to revitalise hutting culture in Scotland - the building, inhabiting and enjoyment of simple shelters for recreation and pleasure.

2.2 In many European countries such as Germany, Finland, Norway and France, hutting is well-established. It is the norm for many urban people to head to the countryside for the weekend to their hytte or dacha. Scotland, by contrast has a very modest historic tradition of hutting which is predominantly associated with a working class movement that developed early in the 20th century when small holiday huts began to be built on land close to Scotland's main industrial cities. There are already over 100 traditional huts on sites in the Scottish Borders, including nearby Eddleston and Soonhope, by Peebles (though modern hutting is a more eco-friendly and nature focussed concept).

2.3 The Thousand Huts Campaign gained rapid and widespread support. It has created a platform for informed debate around the benefits hutting can bring to both individual lives and communities as well as to the sometimes impoverished natural environment of Scotland and to the rural economy. The Scottish Government's commitment to delivering these benefits has been confirmed with inclusion of supportive policy on huts in the 2014 Scottish Planning Policy (SPP). Section 79 of the SPP states '[Local Development] Plans should set out a spatial strategy which, [...] where appropriate, sets out policies and proposals for leisure accommodation, such as holiday units, caravans, and huts;'

2.4 That paragraph links to the SPP glossary where the definition of a hut is set out:

'A simple building used intermittently as recreational accommodation (ie. not a principal residence); having an internal floor area of no more than 30m<sup>2</sup>; constructed from low impact materials; generally not connected to mains water, electricity or sewerage; and built in such a way that it is removable with little or no trace at the end of its life. Huts may be built singly or in groups.'

2.5 In July 2017, the Scottish Government adopted new Building Regulations to enable hut building without warrant, reinforcing a commitment and light touch to hutting.

2.8 In June 2017, the agent for this planning application, Urban Animation, won planning permission (ref. 16/03759/FULL) for a 13 hut pilot project at Saline in Fife, for Reforesting Scotland and FCS. Planning permission has also been gained for 15 huts at Falkland in Fife (ref. 17/04065/FULL). Other current/imminent applications by Urban Animation include sites in South Lanarkshire, Aberdeenshire/Cairngorms National Park, Falkirk and Fife.

### 3. The Site

3.1 North Cloich Wood covers approximately 12.5 hectares/31 acres. The application site extends to 1.885 hectares/4.65 acres. It is located approximately 2 km east of Lamancha. The site lies on gently south east sloping ground in a shallow valley, with the Cowieslinn Burn following the south east boundary.

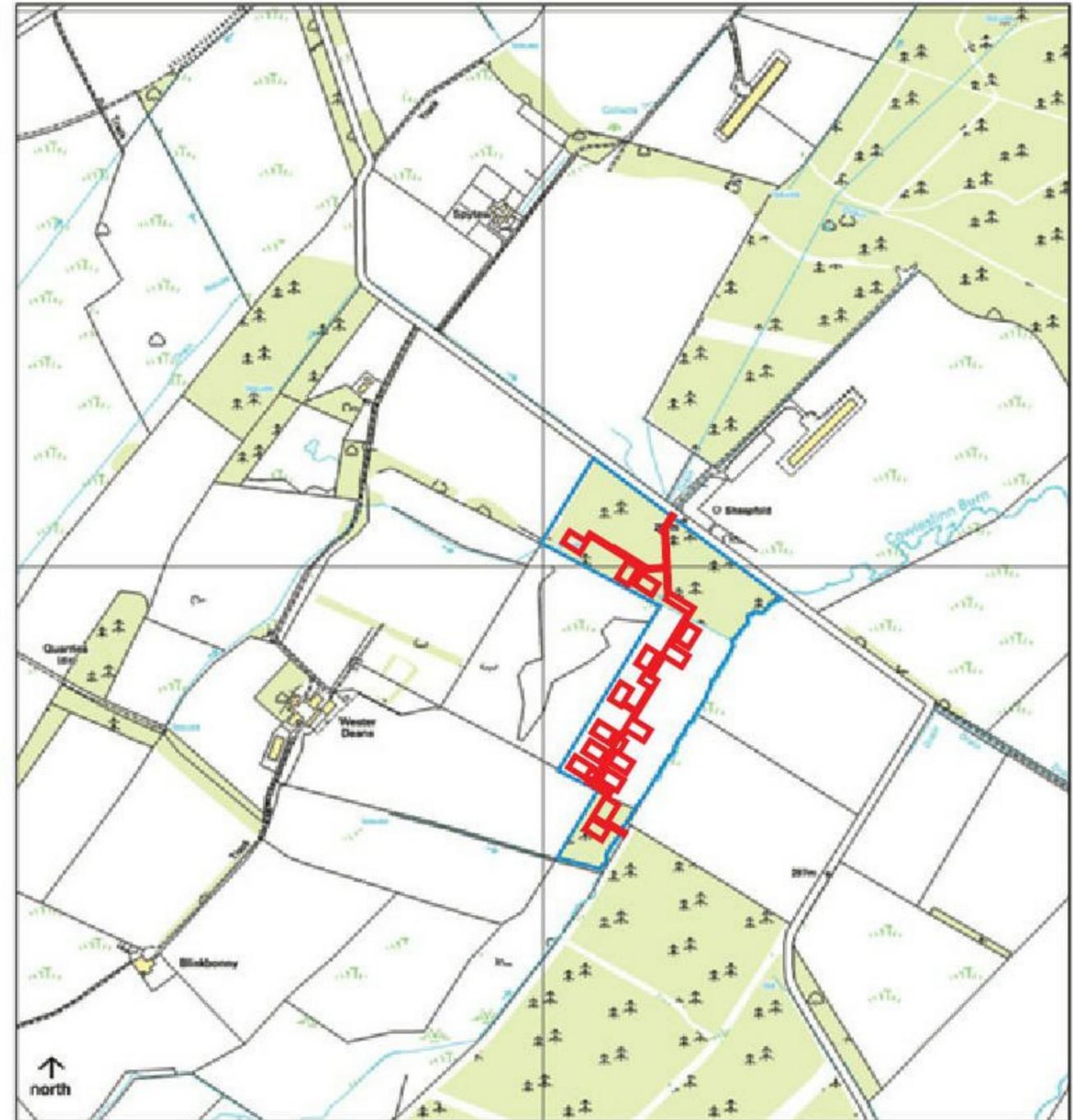
3.2 Formerly a Forestry Commission sitka spruce plantation, the site was clear felled in 2009. It was subsequently sold to the current owner who undertook a replanting plan to create a mixed woodland. Tree coverage across the site varies, but is now becoming well established, with larger trees reaching approximately 5-6 metres in height.

3.3 The SEPA Flood Map shows some flood risk from the Cowieslinn Burn but this lies well beyond the application site - the huts will sit on higher slopes clear of the flood risk area.

3.4 There are four residential properties in the area. Only one of these has relatively open views towards the site, from a distance of approximately 350 metres to the closest part of the north western site boundary. Other views are screened by topography and existing trees. Wider views in and out of the wood are available from its edges. As the woodland continues to regenerate, the huts will be largely concealed from view.

3.5 Access is from the existing turning head and short track from the unclassified road running from Lamancha to Eddleston, via Shiplaw, opposite which sits a chicken shed owned by Glenrath Farms. Parking will be formed in the site, with one space for each hut. A right of way exists from the A703 junction north of Cowieslinn Quarry to a point approximately 250 metres from the south west corner of the site. A wide flat verge at the unclassified road completes safe pedestrian access. There are regular buses on the A703 to Edinburgh and Peebles.

3.6 A habitat survey was undertaken in October 2017. The surveyor has reviewed the survey and confirmed by letter that it remains valid. This survey that the development is not proposed in a sensitive area and suggests a number of good practice measures which can be adopted during construction of the huts and tracks.



location plan (not to scale)



## 4. The Hutting Development

### PROPOSALS

4.1 Fifteen huts are proposed, served by upgraded tracks and grouped car parking areas (total 15 spaces). Each hut will be located within a 20 x 20 metre plot, providing adequate space for a hut and set back distances to boundaries. Regeneration of the woodland will continue within these plot areas and the wider woodland area. The hut layout is designed to integrate the huts into the woodland, minimising visual impact and offering good privacy to hutters. The layout avoids the wetter and lower fringes of the south eastern woodland boundary, where a watercourse and wetland scrapes are located.

4.2 The existing access road will be extended a short distance in to the site, leading to two car parking areas. The access track and parking will be surfaced with permeable type 1 hardcore. Selective new conifer planting will be provided for additional screening of the car parking area.

4.3 Access to the huts from the car parking areas will be by foot using new 1.5 metre wide type 1 hardcore permeable tracks. Individual hut paths will be unsurfaced tracks. The site boundary provides adequate with to enable paths and tracks to avoid existing trees. Paths will be designed for ease of use by all. Bicycles can be parked/secured at the huts.

4.4 The huts will be used by families or individuals and their friends for private use, meeting the terms of the SPP definition. They will not be rented out as a business or made available as temporary accommodation to all-comers, as is the case with bothies in remote places. There will be no loss of amenity for neighbouring properties through noise, odours or nuisance.

4.5 The site lies within the wider North Cloich woodland. Much of it is already well screened from surrounding roads and vantage points. The site sits in a shallow valley, ensuring that the huts will not infringe horizon views. The huts will be positioned amongst existing trees and as the woodland continues to regenerate, the huts will be almost entirely screened. Some additional planting can be provided within hut plots and at the car parking areas subject to Council requirements. There are no landscape designations affecting the site.

4.6 Previous pre-application feedback from the Council (D Amyes, in consultation with Landscape section) noted that "the proposed cabins should not pose a visual issue - even if they were visible, it is not a particularly sensitive location visually".

4.7 Foundations will be low impact (no strip foundations - corner and main bearing point founds only). No significant damage to tree roots is anticipated. Smaller trees growing on or adjacent to the hut footprint will be relocated within the plot to assist with early screening of the structure and support the regeneration process.

4.8 The huts will be finished with natural timber boarding which will respect the setting and ensure they are integrated into the woodland and surroundings. The intention is to source timber for construction locally to maximise the sustainability of the development.

4.9 Simple traditional single storey building form is proposed. The huts will have rectilinear floor plans with double pitched roofs. Two hut sizes are proposed, both significantly smaller than the maximum 30m<sup>2</sup> internal size under the SPP definition:

- 8 x smaller huts at 14.72m<sup>2</sup> internal floor area (18m<sup>2</sup> gross/external)
- 7 x larger huts at 18.24m<sup>2</sup> internal floor area (21.96m<sup>2</sup> gross/external)

4.10 Roofs will be finished in green Onduline recycled cellulose sheeting, subject to agreement of material/colour by Scottish Borders Council Planning Service. Doors and windows will be timber, weathered naturally or stained/ painted grey.

4.11 The SPP definition states that huts are “generally not connected to mains water, electricity or sewerage”. Hutters do require water. This will be brought to the huts manually by individual hutters or recycled from rainwater sources. Off-grid living ensures the site will not become a residential development and promotes sustainable living.

4.12 Heating will be from wood stove in each hut. The huts will require flues, which will have a matt or black steel finish to meet the requirements of the planning authority.

4.13 4.12 PV cells can be used to generate low voltage electricity for lighting and other uses. Simple portable and removable products are available. It is recognised that any fixed renewable energy installations would require separate planning permission. There will be no electricity supply serving the site as the huts will operate off-grid.

4.14 Sewage will be dealt with using dry composting toilets within the huts. No mains drainage connection or septic tank is proposed.

4.15 Organic waste will be composted on site. Individual hutters will deal with their own recyclable and non-recyclable waste by removing it from site and using their domestic waste collection services.

4.16 The hutters will have shared responsibilities for management of tracks, parking and any other communal areas. This will be co-ordinated through a Hutters’ Association which will adopt a Management Code for individual hutters and contain advice on requirements for management of woodland areas lying within the hut plots. The maintenance of each hut will be the responsibility of the hutter who owns it. The natural regeneration of the wider North Cloich woodland will continue as agreed with Forestry and Land Scotland.

4.17 The buildings are expected to last for many years, with like for like replacement of any external materials over time.

## 4. Planning Policy

The most relevant Scottish Borders LDP policy relating to the proposal is Policy ED7: Business, Tourism and Leisure in the Countryside. Hutting can best be described as a leisure or recreation pursuit.

Section b) of Policy ED7 provides support for use of this type where “the development is to be used directly for leisure, recreation or tourism appropriate to a countryside location”.

Policy ED7 sets out a number of other criteria which must be met. The proposals are consistent with the applicable criteria, including:

Criteria b) - There are very few residential properties in the area and the nearest are set back 450 metres from the site.

Criteria c) - whilst the huts are buildings, they are small scale and very low impact, appropriate to the setting. Existing vacant buildings and brown field sites are unsuitable for hutting use, as a rural woodland site is required.

The proposals are consistent with other LDP policies, including:

Policy PMD1 - Sustainability: The proposals provide opportunities for low impact, off grid recreation, supporting access to the countryside and wellbeing.

Policy PMD2 - Quality Standards: The proposals will result in a high quality development designed to maximise place quality, protecting the regenerating woodland and the amenity of the few residents living in the area.



view towards site from house at north west

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997**

**Town and Country Planning (Development Management Procedure) (Scotland) Regulations  
2008**

**Application for Planning Permission**

**Reference : 09/01362/FUL**

**To : Matt Davies per Capital A Architectural Design 84 The Murrays Liberton Edinburgh  
EH17 8UP**

With reference to your application validated on **9th October 2009** for planning permission under the  
Town and Country Planning (Scotland) Act 1997 for the following development :-

**Proposal : Siting of 2 No caravans for temporary residential use (retrospective)**

**at : Land South East Of Little Dean West Linton Scottish Borders**

The Scottish Borders Council hereby refuse planning permission for the reason(s) stated on the  
attached schedule.

**Dated 21st December 2009  
Planning and Economic Development  
Council Headquarters  
Newtown St Boswells  
MELROSE  
TD6 0SA**

Signed

  
.....  
**Head of Planning & Building Standards**

Visit <http://eplanning.scotborders.gov.uk/publicaccess/> to view Planning information online

**APPLICATION REFERENCE : 09/01362/FUL****Schedule of Plans and Drawings Refused:**

<b>Plan Ref</b>	<b>Plan Type</b>	<b>Plan Status</b>
DRWG 003	Site Plan	Refused
DRWG 004	Site Plan	Refused
DRWG002	Block Plans	Refused

**REASON FOR REFUSAL**

- 1 The proposals are contrary to Policies H5 and H6 of the Scottish Borders Structure Plan (2001-2011), Policies BE8, D1 and D2 of the Scottish Borders Local Plan (2008) and the SPG in that the site is located outwith any building group, the need for the caravans has not been adequately demonstrated and there are no other material factors that could justify an exception to the Policies.

**FOR THE INFORMATION OF THE APPLICANT**

If the applicant is aggrieved by the decision of the Planning Authority to refuse planning permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under Section 43A of the Town and Country Planning (Scotland) Act 1997 within three months from the date of this notice. The notice of review should be addressed to Corporate Administration, Council Headquarters, Newtown St Boswells, Melrose, TD6 OSA.

If permission to develop land is refused or granted subject to conditions, whether by the Planning Authority or by the Scottish Ministers, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner may serve on the Planning Authority a purchase notice requiring the purchase of his interest in the land in accordance with the provisions of Part 5 of the Town and Country Planning (Scotland) Act 1997.

**SCOTTISH BORDERS COUNCIL**

**APPLICATION TO BE DETERMINED UNDER POWERS DELEGATED TO THE HEAD OF PLANNING  
AND BUILDING STANDARDS**

**PART III REPORT (INCORPORATING REPORT OF HANDLING)**

**REF :** 09/01362/FUL  
**APPLICANT :** Matt Davies  
**AGENT :** Niall Hedderman  
**DEVELOPMENT :** Siting of 2 No caravans for temporary residential use (retrospective)  
**LOCATION:** Land South East Of Little Dean  
West Linton  
Scottish Borders

**TYPE :** FUL Application

**REASON FOR DELAY:**

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**DRAWING NUMBERS:**

<b>Plan Ref</b>	<b>Plan Type</b>	<b>Plan Status</b>
DRWG 003	Site Plan	Refused
DRWG 004	Site Plan	Refused
DRWG002	Block Plans	Refused

**NUMBER OF REPRESENTATIONS: 5**

**SUMMARY OF REPRESENTATIONS:**

NUMBER OF REPRESENTATIONS: 5

SUMMARY OF REPRESENTATIONS:

Environmental Health were consulted on the proposal and commented as follows:

In terms of Section 63 of the Water (Scotland) Act 1980, it shall be the duty of any person erecting or causing to be erected a building to make adequate provision to the satisfaction of the local authority for a sufficient supply of wholesome water in pipes for the domestic purposes of the persons occupying or using the building. With this in mind, if the application is to be approved, a condition should be attached to the planning permission requiring the applicant to provide confirmation from Scottish Water that a connection from the public water main is available and that the proposals will be able to be adequately serviced by said public water main. Alternatively if a private water supply is to be used then the quality of the water must conform to the requirements of The Private Water Supplies (Scotland) Regulations 2006 in relation to chemical and bacteriological parameters pertaining to the designated classification of the supply. Further details on the source of supply, volume and treatment of the water shall be required and a report from an independent competent person advising how the proposed development will impact on the existing users on that supply.

Objections were received from 4 properties in the area. The concerns raised included disposal of sewerage, disposal of rubbish, use of the site for residential purposes, lack of forestry activity, unsightly impact on the landscape character/setting.

**PLANNING CONSIDERATIONS AND POLICIES:**

Scottish Borders Structure Plan (2001-2011)  
Policy H5 New Housing in the Countryside – Building groups  
Policy H6 New Housing in the Countryside – Isolated Housing

Scottish Borders Local Plan (2008)  
BE8 Caravans & Camping Sites  
D1 Business, Tourism and Leisure Development within the Countryside  
D2 Housing in the Countryside

Supplementary Planning Guidance  
New Housing in the Borders Countryside

The key consideration is whether the caravans represent an appropriate form of residential development in the countryside.

**Recommendation by** - Lucy Hoad (Planning Officer) on 21st December 2009

TYPE : FUL Application

REASON FOR DELAY: Area Changeover/Officer sick leave/flu

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DRAWING NUMBERS:

Plan Ref	Plan Type	Plan Status
DRWG 002	Block Plan	REFUSED
DRWG 003	Site Plan	REFUSED
DRWG 004	Site Plan	REFUSED

NUMBER OF REPRESENTATIONS: 5

SUMMARY OF REPRESENTATIONS:

Environmental Health were consulted on the proposal and commented as follows:

In terms of Section 63 of the Water (Scotland) Act 1980, it shall be the duty of any person erecting or causing to be erected a building to make adequate provision to the satisfaction of the local authority for a sufficient supply of wholesome water in pipes for the domestic purposes of the persons occupying or using the building. With this in mind, if the application is to be approved, a condition should be attached to the planning permission requiring the applicant to provide confirmation from Scottish Water that a connection from the public water main is available and that the proposals will be able to be adequately serviced by said public water main. Alternatively if a private water supply is to be used then the quality of the water must conform to the requirements of The Private Water Supplies (Scotland) Regulations 2006 in relation to chemical and bacteriological parameters pertaining to the designated classification of the supply. Further details on the source of supply, volume and treatment of the water shall be required and a report from an independent competent person advising how the proposed development will impact on the existing users on that supply.

Objections were received from 4 properties in the area. The concerns raised included disposal of sewerage, disposal of rubbish, use of the site for residential purposes, lack of forestry activity, unsightly impact on the landscape character/setting.

PLANNING CONSIDERATIONS AND POLICIES:

Scottish Borders Structure Plan (2001-2011)  
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Scottish Borders Local Plan (2008)

BE8 Caravans & Camping Sites  
D1 Business, Tourism and Leisure Development within the Countryside  
D2 Housing in the Countryside

Supplementary Planning Guidance  
New Housing in the Borders Countryside

The key consideration is whether the caravans represent an appropriate form of residential development in the countryside.

Recommendation by - Lucy Hoad (Planning Officer) on 16 December 2009

The caravans are located in a woodland complex (although the site is clear felled the land is classed as woodland). The site is located 6km East of West Linton and accessed along a minor road off the A701. The site lies outside the development limits.

The temporary use of a caravan by workers carrying out seasonal forestry activities on the land for part of the year is regarded as permitted development under the General Permitted Development Order (Scotland) 1992. However, the proposal is to site both caravans on a year round basis for the temporary period of 2 years.

In his Design Statement the agent has stated that one caravan (identified as No1) is for the infrequent use of forestry workers as required and the other caravan is used regularly as a residential habitation (No2).

Policy BE8 Caravans & Camping Sites states that proposals for new and extended caravan and camping sites will be supported in locations that can support the local economy and the regeneration of towns and are in accordance with the Scottish Borders Tourism Strategy. Developments within or immediately outwith the development boundary of settlements that can help support local shops and services will be favoured over countryside locations.

The application states the caravans are for forestry workers and residential use and therefore there is no tourist element to the proposal that would support the local economy.

Policy D1 Business, Tourism and Leisure Development within the Countryside states that proposals for business, tourism or leisure development in the countryside will be approved and rural diversification initiatives will be encouraged provided that:

- the development is to be used directly for agricultural, horticultural or forestry operations, or for uses which by their nature are appropriate to the rural character of the area or
- the development is to be used directly for leisure, recreation or tourism, appropriate to a countryside location and is in accordance with the Scottish Borders Tourism Strategy or
- the development is to be used for other business or employment generating uses, provided that the Council is satisfied that there is an economic/or operational need for the particular countryside location and that it cannot be reasonably accommodated within the development boundary of a settlement

The agent states the woodland was clearfelled in 2005 and a replanting scheme agreed between the owner and the Forestry Commission (former owner). As there are no trees on site at present it would not be possible for workers to engage in forestry activities of thinning or felling. The planting season runs from November to March/April.

The application states that the caravans are for forestry workers and residential use. No business case has been put forward for this proposal. It is accepted that planting of new trees could be carried out on site during the planting season and that this activity would be appropriate to the rural character of the area but newly planted trees would take decades to mature for market. There is no timber or thinnings to sell at present and therefore no economic justification for the proposed development. Outwith the planting season it is considered that there is no demonstrable need for workers to live on site for the operation of forestry work.

In addition, the proposal has not included sufficient details to indicate there are no existing agricultural/forestry worker's dwellings available in the locality or other properties available within nearby settlements to accommodate workers.

Policy H5 of the Structure Plan states that proposals for new housing in the countryside outwith defined settlements but associated with existing building groups will normally be supported where they are in accordance with the provisions of the policy guidance 'New Housing in the Borders Countryside. Favourable consideration is more likely where development proposals:

- (i) are readily accessible to the strategic public transport network,
- (ii) employ energy efficient and/or innovative design principles,
- (iii) incorporate employment-generating uses appropriate to a countryside setting.

The caravans do not relate to an existing building group and the development is considered isolated.

Policy H6 New Housing in the Countryside - Isolated Housing states that proposals for new housing in the countryside, outwith defined settlements and unrelated to building groups, will only be supported where:

- (i) the house can be shown by the developer to be essential at that location for the needs of agriculture or other uses currently occupying or requiring an appropriate rural location, and
- (ii) the requirement for a house cannot be satisfied by Policy H5.

Policy D2 Housing in the Countryside also states that Housing in the Countryside may be approved provided that the council is satisfied that:

-the housing development is a direct operational requirement of an agricultural, horticultural, forestry or other enterprise which is itself appropriate to the countryside; such could include businesses that would cause disturbance or loss of amenity if located within an existing settlement or

-the housing would help support a business that results in a clear social or environmental benefit to the area, including the retention or provision of employment or the provision of affordable or local needs housing

New Housing in the Borders Countryside supplementary planning guidance recognises that although the rural economy has changed dramatically in the last century and only a relatively few people now have an economic base in the countryside, there are still circumstances where a new house may be required for genuine circumstances of local need. In assessing such a proposal the Council will take into account a number of factors:-

- Whether the need for the house is supported on an agricultural basis by an appropriate agricultural adviser with suitable accreditations;
- Whether the need for the house is demonstrated to be essential for the running of an agricultural or rural business at that location;
- Whether there is a need for new accommodation for an existing local resident to suit changed and exceptional circumstances e.g. a retiring farmer or farm worker retaining an interest in the land;

No evidence has been provided to indicate the proposed dwelling would be for people needing to live on site and mainly engaged in agriculture or forestry work. The development would represent a new dwelling in the open countryside and does not meet any of the criteria considered appropriate to allow such a development. The dwelling is not a replacement dwelling, conversion of an existing building or a proposal for affordable housing and would therefore represent indiscriminate development in the open countryside contrary to advice provided in supplementary planning guidance on New Housing in the Borders Countryside.

There have been 4 objections to the development on the grounds that there is no demonstrable operational or economic need for forestry workers to reside on the land and that the development has an adverse impact on the character and appearance of the landscape setting. The issue of water supply and sewerage disposal has also been raised. The agent has confirmed that treated water is brought on to site in large

plastic tanks and stored in same, but no data on water quality has been submitted, and that a compost toilet is being used by the inhabitants of the caravan which comprise the applicant, his wife and child.

#### Summary

The site lies outside the development limits. The applicant has not demonstrated an operational need to reside on site. The caravan is not required to temporarily house an essential worker in forestry who must live on the spot rather than a nearby settlement.

Recommendation: REFUSE

#### REASON FOR DECISION :

The proposals are contrary to Policies H5 and H6 of the Scottish Borders Structure Plan (2001-2011), Policies BE8, D1 and D2 of the Scottish Borders Local Plan (2008) and the SPG in that the site is located outwith any building group, the need for the caravans has not been adequately demonstrated and there are no other material factors that could justify an exception to the Policies.

“Photographs taken in connection with the determination of the application and any other associated documentation form part of the Report of Handling”.

#### REASON FOR DECISION :

The proposals are contrary to Policies H5 and H6 of the Scottish Borders Structure Plan (2001-2011), Policies BE8, D1 and D2 of the Scottish Borders Local Plan (2008) and the SPG in that the site is located outwith any building group, the need for the caravans has not been adequately demonstrated and there are no other material factors that could justify an exception to the Policies.

#### **Recommendation:** Refused

- 1 The proposals are contrary to Policies H5 and H6 of the Scottish Borders Structure Plan (2001-2011), Policies BE8, D1 and D2 of the Scottish Borders Local Plan (2008) and the SPG in that the site is located outwith any building group, the need for the caravans has not been adequately demonstrated and there are no other material factors that could justify an exception to the Policies.

**“Photographs taken in connection with the determination of the application and any other associated documentation form part of the Report of Handling”.**

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## PLANNING CONSULTATION

To: Ecology Officer

From: Development Management

Date: 3rd September 2019

Contact: Ranald Dods ☎ Ext. 8574

Ref: 19/01256/FUL

### PLANNING CONSULTATION

Your observations are requested on the under noted planning application. I shall be glad to have your reply not later than 24th September 2019, If further time will be required for a reply please let me know. If no extension of time is requested and no reply is received by 24th September 2019, it will be assumed that you have no observations and a decision may be taken on the application.

**Please remember to e-mail the DCConsultees Mailbox when you have inserted your reply into Idox.**

**Name of Applicant:** Ms Jess Windsor

**Agent:** Urban Animation

**Nature of Proposal:** Erection of 15 No huts with associated access and car parking

**Site:** Land East Of Wester Deans West Linton Scottish Borders

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**CONSULTATION RESPONSE TO  
PLANNING OR RELATED APPLICATION**

<b>Comments provided by</b>	<b>Officer Name and Post:</b> Dr Andy Tharme Ecology Officer	<b>Contact e-mail/number:</b> <a href="mailto:atharme@scotborders.gov.uk">atharme@scotborders.gov.uk</a> T:01835-826514
<b>Date of reply</b>	27 September 2019	<b>Consultee reference:</b>
<b>Planning Application Reference</b>	19/01256/FUL	<b>Case Officer:</b> Ranald Dods
<b>Applicant</b>	Ms Jess Windsor	
<b>Agent</b>	Urban Animation	
<b>Proposed Development</b>	Erection of 15 No huts with associated access and car parking	
<b>Site Location</b>	Land East Of Wester Deans West Linton Scottish Borders	

***The following observations represent the comments of the consultee on the submitted application as they relate to the area of expertise of that consultee. A decision on the application can only be made after consideration of all relevant information, consultations and material considerations.***

<b>Background and Site description</b>	
<b>Key Issues (Bullet points)</b>	<ul style="list-style-type: none"> <li>• Potential impacts on a Natura site (River Tweed SAC) and protected species (breeding birds)</li> </ul>
<b>Assessment</b>	<p><i>Relevant Local Development Plan (LDP) Policies are: EP1 International Nature Conservation Sites and Protected Species, EP2 National Nature Conservation Sites and Protected Species and EP3 Local Biodiversity.</i></p> <p>I have not visited the site to inform this consultation response, a desk-top assessment has been made using the Council's biological records, aerial imagery, and information submitted by the applicant.</p> <p>I am satisfied with the submitted Ecological Impact Assessment (<i>Ecology Assessment for proposed hutting site at North Cloich, near Lamancha, Scottish Borders, cameron ecology Ltd October 2017</i>). Whilst survey work was carried out in 2017, in accordance with good practice<sup>1</sup> it can still be considered as up to date in this instance. I also accept that the change in layout since 2017, does not significantly alter the conclusions reached (<i>Letter, cameron ecology ltd, 17 June 2019</i>).</p> <p>Survey work was carried out on 22 September 2019, outwith the bird breeding season.</p> <p><u>Designated sites</u></p> <p>There is potential connectivity with the River Tweed SAC via the Cowieslinn burn (several kilometres downstream to the Eddleston water. The report recommends mitigation through construction methods and drainage to ensure that construction of huts and tracks does not have a significant adverse impact through sedimentation and pollution.</p>

	<p>Habitats of local or less than local value are present on site, including coniferous plantation, mixed woodland plantation, scrub, semi-improved acid grassland, improved grassland, marshy grassland, fen, swamp, standing water and tall ruderal habitats.</p> <p>The location of huts and infrastructure mainly affects acid grassland, marshy grassland and tall ruderal habitats.</p> <p>Areas of fen and swamp should be avoided by the proposed development.</p> <p><u>Protected Species</u> Habitats might support a range of ground-nesting species, which may include reed bunting and snipe. Mitigation is proposed to protect breeding birds.</p> <p>No structures or trees were recorded that offered suitability to bats and their roosts. No evidence of otter or badger was recorded.</p> <p>The report identifies a number of enhancements that could be provided including provision of bat boxes, maintaining the ponds and areas surrounding them and replacement of non-native red-berried elder with native elder.</p> <p><u>Conclusion</u> In my opinion, the proposed development is acceptable in terms on LDP policies EP1, EP2 and EP3 provided planning conditions are attached for a construction environmental management plan (CEMP) and a species protection plan for breeding birds.</p>			
<b>Recommendation</b>	<input type="checkbox"/> <b>Object</b>	<input type="checkbox"/> <b>Do not object</b>	<input checked="" type="checkbox"/> <b>Do not object, subject to conditions</b>	<input type="checkbox"/> <b>Further information required</b>
<b>Recommended Conditions</b>	<ul style="list-style-type: none"> <li>• Prior to commencement of development a Construction Environmental Management Plan incorporating the latest good practice guidelines and statutory advice<sup>ii</sup> shall be submitted to and approved in writing in writing by the Planning Authority. Any works shall thereafter be carried out strictly in accordance with the approved in writing scheme</li> </ul> <p><i>Reason: To protect the ecological interest in accordance with Local Development Plan policies EP1, EP2 and EP3.</i></p> <ul style="list-style-type: none"> <li>• No development shall be undertaken during the breeding bird season (March to August), unless in strict compliance with a Species Protection Plan for breeding birds, including provision for pre-development supplementary survey, that shall be submitted to and approved in writing by the Planning Authority.</li> </ul> <p><i>Reason: To protect the ecological interest in accordance with Local Development Plan policies EP2 and EP3.</i></p>			

<b>Recommended Informatives</b>	
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<sup>i</sup> Biodiversity- Code of practice for planning and development. BS42020:2013. BSi

<sup>ii</sup> Guidance for Pollution Prevention GPP5: works and maintenance in or near water

<http://www.netregs.org.uk/environmental-topics/pollution-prevention-guidelines-ppgs-and-replacement-series/guidance-for-pollution-prevention-gpps-full-list/>

## PLANNING CONSULTATION

To: Environmental Health

From: Development Management

Date: 3rd September 2019

Contact: Ranald Dods ☎ Ext. 8574

Ref: 19/01256/FUL

### PLANNING CONSULTATION

Your observations are requested on the under noted planning application. I shall be glad to have your reply not later than 24th September 2019, If further time will be required for a reply please let me know. If no extension of time is requested and no reply is received by 24th September 2019, it will be assumed that you have no observations and a decision may be taken on the application.

**Please remember to e-mail the DCConsultees Mailbox when you have inserted your reply into Idox.**

**Name of Applicant:** Ms Jess Windsor

**Agent:** Urban Animation

**Nature of Proposal:** Erection of 15 No huts with associated access and car parking

**Site:** Land East Of Wester Deans West Linton Scottish Borders

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**CONSULTATION RESPONSE TO  
PLANNING OR RELATED APPLICATION**

<b>Comments provided by</b>	<b>Officer Name and Post:</b>	<b>Contact e-mail/number:</b>		
	Environmental Health	PLACEhealth@scotborders.gov.uk		
<b>Date of reply</b>	09/09/19	<b>Consultee reference: 19/02868/PLANCO</b>		
<b>Planning Application Reference</b>	19/01256/FUL	<b>Case Officer:</b> Ranald Dods		
<b>Applicant</b>	Ms Jess Windsor			
<b>Agent</b>	Urban Animation			
<b>Proposed Development</b>	Erection of 15 No huts with associated access and car parking			
<b>Site Location</b>	Land East Of Wester Deans West Linton Scottish Borders			
<i>The following observations represent the comments of the consultee on the submitted application as they relate to the area of expertise of that consultee. A decision on the application can only be made after consideration of all relevant information, consultations and material considerations.</i>				
<b>Background and Site description</b>				
<b>Key Issues (Bullet points)</b>				
<b>Assessment</b>	<p>The application is for the siting of 15 Huts with associated access and car parking. The application states that the Huts will be serviced by composting toilets but there is no information on where this material is to be deposited. The applicant should provide further information on where this material will be disposed and how it will be managed so as not to cause nuisance to nearby properties in terms of odour, flies, seepage and pests.</p> <p>The applicant should also confirm where the source of water is that the occupants of the huts would be using.</p>			
<b>Recommendation</b>	<input type="checkbox"/> Object	<input type="checkbox"/> Do not object	<input type="checkbox"/> Do not object, subject to conditions	<input checked="" type="checkbox"/> Further information required
<b>Recommended Conditions</b>				

<b>Recommended Informatives</b>	
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## PLANNING CONSULTATION

To: Landscape Architect

From: Development Management

Date: 3rd September 2019

Contact: Ranald Dods ☎ Ext. 8574

Ref: 19/01256/FUL

### PLANNING CONSULTATION

Your observations are requested on the under noted planning application. I shall be glad to have your reply not later than 24th September 2019, If further time will be required for a reply please let me know. If no extension of time is requested and no reply is received by 24th September 2019, it will be assumed that you have no observations and a decision may be taken on the application.

**Please remember to e-mail the DCConsultees Mailbox when you have inserted your reply into Idox.**

**Name of Applicant:** Ms Jess Windsor

**Agent:** Urban Animation

**Nature of Proposal:** Erection of 15 No huts with associated access and car parking

**Site:** Land East Of Wester Deans West Linton Scottish Borders

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**CONSULTATION RESPONSE TO  
PLANNING OR RELATED APPLICATION**

<b>Comments provided by</b>	<b>Officer Name and Post:</b>	<b>Contact e-mail/number:</b>
	Landscape Architect S McDermott	smcdermott@scotborders.gov.uk
<b>Date of reply</b>		<b>Consultee reference:</b>
<b>Planning Application Reference</b>	19/01256/FUL	<b>Case Officer:</b> Ranald Dods
<b>Applicant</b>	Ms Jess Windsor	
<b>Agent</b>	Urban Animation	
<b>Proposed Development</b>	Erection of 15 No huts with associated access and car parking	
<b>Site Location</b>	Land East Of Wester Deans West Linton Scottish Borders	
<p><b><i>The following observations represent the comments of the consultee on the submitted application as they relate to the area of expertise of that consultee. A decision on the application can only be made after consideration of all relevant information, consultations and material considerations.</i></b></p>		
<b>Background and Site description</b>	<p>The site is a block of land to the south of the minor road that links the A703 to the A701 at Whim.</p> <p>The site lies to the north end of LCT 92: Plateau Outliers - an upland plateau landscape, one of two areas covered by this description lying between the Pentland and Moorfoots Hills, characterised by hills and ridges covered by a mosaic of coarse grassland, heather and forestry. There is a mosaic of land cover and there is low density settlement in this area. The part of the LCT that the sites within is more rolling upland plateau than hills and ridges, with improved and unimproved agricultural land punctuated by plantation woodlands and shelterbelts.</p> <p>The perception of the landscape of this LCT is of an open and exposed landscape, through which a network of major and minor routes travel meaning that there is relatively high visual sensitivity, however the rolling nature of the immediate landscape does limit intervisibility to some extent from surrounding areas and the main roads that run in a north south direction.</p>	
<b>Key Issues (Bullet points)</b>	<ul style="list-style-type: none"> <li>• Is the landscape and visual effects of a hut development acceptable in the local landscape?</li> </ul>	
<b>Assessment</b>	<p><b><i>Commercial forestry was felled in 2009 and the current owner undertook a replanting programme to create a mixed woodland, with mixed success, resulting in a site that has Sitka spruce regeneration to the north end and some planted and regenerating deciduous trees scattered thinly across the site, with the southern end largely open.</i></b></p> <p><b><i>I do not have serious concerns about the visual impact of the proposed huts – there are limited receptors and from the minor road to the north. The first third of the site has good tree cover and should be able to accommodate huts without any negative visual impacts arising. If natural regeneration of native broadleaves could be encouraged - by protecting seedlings from browsing - and a supplementary native tree and scrubby understorey scheme could be drawn up (see suggested tree planting layout) for the more southern 2/3<sup>rd</sup> of site so that the huts are assimilated into the wider landscape more quickly and successfully, I would have no further concerns about this development.</i></b></p>	

	<b>Species that might be successful would include downy birch, willow, alder, rowan, holly, hazel and sessile oak.</b>			
<b>Recommendation</b>	<input type="checkbox"/> <b>Object</b>	<input type="checkbox"/> <b>Do not object</b>	<input checked="" type="checkbox"/> <b>Do not object, subject to conditions</b>	<input type="checkbox"/> <b>Further information required</b>
<b>Recommended Conditions</b>	<p>LA02 Soft Landscaping - Submission of Details (NB: requires LA03 Commencement Condition)</p> <p>No development shall take place except in strict accordance with a scheme of tree planting, which shall first have been submitted to and approved in writing by the Planning Authority, and shall include (as appropriate):</p> <ul style="list-style-type: none"> <li>i. Plan and schedule of plants to comprise species, plant sizes and proposed numbers and density</li> <li>ii. programme for completion and subsequent maintenance.</li> </ul> <p>Reason: To enable the effective assimilation of the development into its wider surroundings.</p>			
<b>Recommended Informatives</b>	<p>Tree planting should be cell grown trees, all protected by tree tubes supported with robust tree stakes. Planting should be throughout the site at approx. 3m spacing (i.e. 1 plant/ 9 sq. metres) although this should not be regular and should take into account existing regeneration and hut positions, concentrating on areas immediately around the huts to improve their assimilation.</p>			

3000 sq. m (approx)  
= 330 no. trees

3000 sq. m (approx)  
= 330 no. trees.

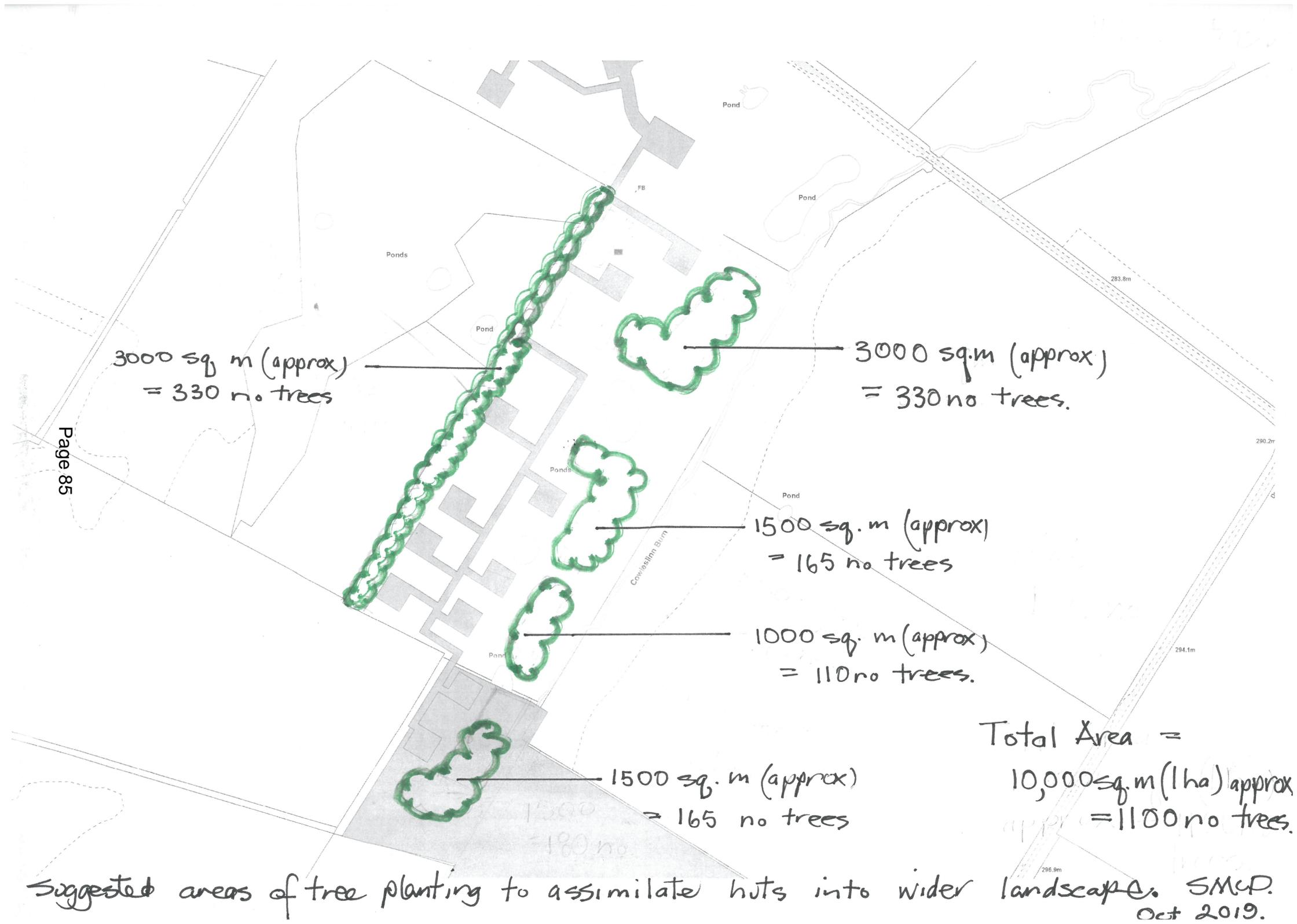
1500 sq. m (approx)  
= 165 no. trees

1000 sq. m (approx)  
= 110 no. trees.

1500 sq. m (approx)  
= 165 no. trees

Total Area =  
10,000 sq. m (1ha) approx  
= 1100 no. trees.

Suggested areas of tree planting to assimilate huts into wider landscape. SMC.P. Oct 2019.



**CONSULTATION RESPONSE TO  
PLANNING OR RELATED APPLICATION**

<b>Comments provided by</b>	Roads Planning Service	<b>Contact e-mail/number:</b>		
<b>Officer Name and Post:</b>	Paul Grigor Roads Planning Officer	<a href="mailto:pgrigor@scotborders.gov.uk">pgrigor@scotborders.gov.uk</a> <b>01835 826663</b>		
<b>Date of reply</b>	4 <sup>th</sup> October 2019	<b>Consultee reference:</b>		
<b>Planning Application Reference</b>	19/01256/FUL	<b>Case Officer:</b> Ranald Dods		
<b>Applicant</b>	Ms Jess Windsor			
<b>Agent</b>	Urban Animation			
<b>Proposed Development</b>	Erection of 15 No huts with associated access and car parking			
<b>Site Location</b>	Land East Of Wester Deans West Linton Scottish Borders			
<i>The following observations represent the comments of the consultee on the submitted application as they relate to the area of expertise of that consultee. A decision on the application can only be made after consideration of all relevant information, consultations and material considerations.</i>				
<b>Background and Site description</b>				
<b>Key Issues (Bullet points)</b>	<ul style="list-style-type: none"> <li>• Access</li> </ul>			
<b>Assessment</b>	<p>In principle I have no objections to the proposed development of 15 huts for recreational purposes in this rural location. The public road serving this site, whilst single track, has a number of passing places along this route.</p> <p>My main concern is the access and more specifically access to each of the individual huts. Whilst the huts maybe exempt from a building warrant they still have to comply with the regulations. My main concern is that the proposed paths leading to each of the huts are only 1.5 metres wide and as such they do not provide emergency access to them for fire tenders in the event of an emergency. In order for them to comply with the regulations, a vehicle access route for fire-fighting vehicles from a public road must reach within 45 metres of the unit and have a minimum width of 3.7 metres. The minimum axle loading of 14 tonne for the access route will be required along with appropriate turning.</p> <p>In order for me to consider this application further, I will require an amended access plan addressing the above points or justification as to why this infrastructure is not required.</p>			
<b>Recommendation</b>	<input type="checkbox"/> Object	<input type="checkbox"/> Do not object	<input type="checkbox"/> Do not object, subject to conditions	<input checked="" type="checkbox"/> <b>Further information required</b>
<b>Recommended Conditions</b>				
<b>Recommended Informatives</b>				

AJS



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## Comments for Planning Application 19/01256/FUL

### Application Summary

Application Number: 19/01256/FUL

Address: Land East Of Wester Deans West Linton Scottish Borders

Proposal: Erection of 15 No huts with associated access and car parking

Case Officer: Ranald Dods

### Customer Details

Name: Ms Lesley Muirden

Address: Station House Station Road, Eddleston, Peebles, Scottish Borders EH45 8QN

### Comment Details

Commenter Type: Member of Public

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

- Litter

Comment: I think that more information needs to be provided on how the site is to be managed. Will these huts be owned or rented? What arrangements will be made to ensure that the site does not become an eyesore? The hutting site near Eddleston is used by the occupants for storage of waste materials, old cars etc. Rubbish is not cleared away and if work is done on a hut the old materials are just left to lie instead of being taken to Eshiels. The application, if approved needs to have conditions placed on it to ensure the upkeep of the site.

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## List of Policies

**Local Review Reference:** 20/00019/RREF

**Planning Application Reference:** 19/01256/FUL

**Development Proposal:** Erection of 15 No huts with associated access and car parking

**Location:** Land East of Wester Deans, West Linton

**Applicant:** Ms Jess Windsor

### Scottish Borders Local Development Plan 2016

#### POLICY PMD1: SUSTAINABILITY

In determining planning applications and preparing development briefs, the Council will have regard to the following sustainability principles which underpin all the Plan's policies and which developers will be expected to incorporate into their developments:

- a) the long term sustainable use and management of land
- b) the preservation of air and water quality
- c) the protection of natural resources, landscapes, habitats, and species
- d) the protection of built and cultural resources
- e) the efficient use of energy and resources, particularly non-renewable resources
- f) the minimisation of waste, including waste water and encouragement to its sustainable management
- g) the encouragement of walking, cycling, and public transport in preference to the private car
- h) the minimisation of light pollution
- i) the protection of public health and safety
- j) the support to community services and facilities
- k) the provision of new jobs and support to the local economy
- l) the involvement of the local community in the design, management and improvement of their environment

#### POLICY PMD2: QUALITY STANDARDS

All new development will be expected to be of high quality in accordance with sustainability principles, designed to fit with Scottish Borders townscapes and to integrate with its landscape surroundings. The standards which will apply to all development are that:

##### Sustainability

- a) In terms of layout, orientation, construction and energy supply, the developer has demonstrated that appropriate measures have been taken to maximise the efficient use of energy and resources, including the use of renewable energy and resources such as District Heating Schemes and the incorporation of sustainable construction techniques in accordance with supplementary planning guidance. Planning applications must demonstrate that the current carbon dioxide emissions reduction target has been met, with at least half of this target met through the use of low or zero carbon technology,
- b) it provides digital connectivity and associated infrastructure,
- c) it provides for Sustainable Urban Drainage Systems in the context of overall provision of Green Infrastructure where appropriate and their after-care and maintenance,
- d) it encourages minimal water usage for new developments,
- e) it provides for appropriate internal and external provision for waste storage and presentation with, in all instances, separate provision for waste and recycling and, depending on the location, separate provision for composting facilities,
- f) it incorporates appropriate hard and soft landscape works, including structural or screen planting where necessary, to help integration with its surroundings and the

## List of Policies

wider environment and to meet open space requirements. In some cases agreements will be required to ensure that landscape works are undertaken at an early stage of development and that appropriate arrangements are put in place for long term landscape/open space maintenance,

- g) it considers, where appropriate, the long term adaptability of buildings and spaces.

### Placemaking & Design

- h) It creates developments with a sense of place, based on a clear understanding of the context, designed in sympathy with Scottish Borders architectural styles; this need not exclude appropriate contemporary and/or innovative design,
- i) it is of a scale, massing, height and density appropriate to its surroundings and, where an extension or alteration, appropriate to the existing building,
- j) it is finished externally in materials, the colours and textures of which complement the highest quality of architecture in the locality and, where an extension or alteration, the existing building,
- k) it is compatible with, and respects the character of the surrounding area, neighbouring uses, and neighbouring built form,
- l) it can be satisfactorily accommodated within the site,
- m) it provides appropriate boundary treatments to ensure attractive edges to the development that will help integration with its surroundings,
- n) it incorporates, where appropriate, adequate safety and security measures, in accordance with current guidance on 'designing out crime'.

### Accessibility

- o) Street layouts must be designed to properly connect and integrate with existing street patterns and be able to be easily extended in the future where appropriate in order to minimise the need for turning heads and isolated footpaths,
- p) it incorporates, where required, access for those with mobility difficulties,
- q) it ensures there is no adverse impact on road safety, including but not limited to the site access,
- r) it provides for linkages with adjoining built up areas including public transport connections and provision for buses, and new paths and cycleways, linking where possible to the existing path network; Travel Plans will be encouraged to support more sustainable travel patterns,
- s) it incorporates adequate access and turning space for vehicles including those used for waste collection purposes.

### Greenspace, Open Space & Biodiversity

- t) It provides meaningful open space that wherever possible, links to existing open spaces and that is in accordance with current Council standards pending preparation of an up-to-date open space strategy and local standards. In some cases a developer contribution to wider neighbourhood or settlement provision may be appropriate, supported by appropriate arrangements for maintenance,
- u) it retains physical or natural features or habitats which are important to the amenity or biodiversity of the area or makes provision for adequate mitigation or replacements.

Developers are required to provide design and access statements, design briefs and landscape plans as appropriate.

## **POLICY ED7: BUSINESS, TOURISM AND LEISURE IN THE COUNTRYSIDE**

### **BUSINESS, TOURISM AND LEISURE**

Proposals for business, tourism or leisure development in the countryside will be approved and rural diversification initiatives will be encouraged provided that:

## List of Policies

- a) the development is to be used directly for agricultural, horticultural or forestry operations, or for uses which by their nature are appropriate to the rural character of the area; or
- b) the development is to be used directly for leisure, recreation or tourism appropriate to a countryside location and, where relevant, it is in accordance with the Scottish Borders Tourism Strategy and Action Plan;
- c) the development is to be used for other business or employment generating uses, provided that the Council is satisfied that there is an economic and/or operational need for the particular countryside location, and that it cannot be reasonably be accommodated within the Development Boundary of a settlement.

In addition the following criteria will also be considered:

- a) the development must respect the amenity and character of the surrounding area,
- b) the development must have no significant adverse impact on nearby uses, particularly housing,
- c) where a new building is proposed, the developer will be required to provide evidence that no appropriate existing building or brownfield site is available, and where conversion of an existing building of architectural merit is proposed, evidence that the building is capable of conversion without substantial demolition and rebuilding,
- d) the impact of the expansion or intensification of uses, where the use and scale of development are appropriate to the rural character of the area,
- e) the development meets all other siting, and design criteria in accordance with Policy PMD2, and
- f) the development must take account of accessibility considerations in accordance with Policy IS4.

Where a proposal comes forward for the creation of a new business including that of a tourism proposal, a business case that supports the proposal will be required to be submitted as part of the application process.

### **POLICY HD3 : PROTECTION OF RESIDENTIAL AMENITY**

Development that is judged to have an adverse impact on the amenity of existing or proposed residential areas will not be permitted. To protect the amenity and character of these areas, any developments will be assessed against:

- a) the principle of the development, including where relevant, any open space that would be lost; and
- b) the details of the development itself particularly in terms of:
  - (i) the scale, form and type of development in terms of its fit within a residential area,
  - (ii) the impact of the proposed development on the existing and surrounding properties particularly in terms of overlooking, loss of privacy and sunlighting provisions. These considerations apply especially in relation to garden ground or 'backland' development,
  - (iii) the generation of traffic or noise,
  - (iv) the level of visual impact.

### **POLICY EP1 : INTERNATIONAL NATURE CONSERVATION SITES AND PROTECTED SPECIES**

Development proposals which will have a likely significant effect on a designated or proposed Natura site, which includes all Ramsar sites, are only permissible where:

## List of Policies

- a) an appropriate assessment has demonstrated that it will not adversely affect the integrity of the site, or
- b) there are no alternative solutions, and
- c) there are imperative reasons of overriding public interest including those of a social or economic nature

Where a development proposal is sited where there is the likely presence of an EPS, the planning authority must be satisfied that:

- a) there is no satisfactory alternative, and
- b) the development is required for preserving public health or public safety or for other imperative reasons of overriding public interest including those of a social or economic nature and beneficial consequences of primary importance to the environment, and
- c) the development is not detrimental to the maintenance of the population of a EPS at a favourable conservation status in its natural range.

### **POLICY EP2 : NATIONAL NATURE CONSERVATION AND PROTECTED SPECIES**

Development proposals which are likely to have a significant adverse effect, either directly or indirectly, on a Site of Special Scientific Interest or habitat directly supporting a nationally important species will not be permitted unless:

- a) the development will not adversely affect the integrity of the site, and
- b) the development offers substantial benefits of national importance, including those of a social or economic nature, that clearly outweigh the national nature conservation value of the site.

The developer will be required to detail mitigation, either on or off site, of any damage that may be caused by development permissible under the exception criteria.

### **POLICY EP3: LOCAL BIODIVERSITY**

Development that would have an unacceptable adverse effect on Borders Notable Species and Habitats of Conservation Concern will be refused unless it can be demonstrated that the public benefits of the development clearly outweigh the value of the habitat for biodiversity conservation.

Any development that could impact on local biodiversity through impacts on habitats and species should:

- a) aim to avoid fragmentation or isolation of habitats; and
- b) be sited and designed to minimise adverse impacts on the biodiversity of the site, including its environmental quality, ecological status and viability; and
- c) compensate to ensure no net loss of biodiversity through use of biodiversity offsets as appropriate; and
- d) aim to enhance the biodiversity value of the site, through use of an ecosystems approach, with the aim of creation or restoration of habitats and wildlife corridors and provision for their long-term management and maintenance.

### **POLICY EP13: TREES, WOODLANDS AND HEDGEROWS**

The Council will refuse development that would cause the loss of or serious damage to the woodland resource unless the public benefits of the development clearly outweigh the loss of landscape, ecological, recreational, historical, or shelter value.

## List of Policies

Any development that may impact on the woodland resource should:

- a) aim to minimise adverse impacts on the biodiversity value of the woodland resource, including its environmental quality, ecological status and viability; and
- b) where there is an unavoidable loss of the woodland resource, ensure appropriate replacement planting, where possible, within the area of the Scottish Borders; and
- c) adhere to any planning agreement sought to enhance the woodland resource.

### **POLICY IS7: PARKING PROVISION AND STANDARDS**

Development proposals should provide for car and cycle parking in accordance with approved standards.

Relaxation of technical standards will be considered where appropriate due to the nature of the development and/or if positive amenity gains can be demonstrated that do not compromise road safety.

In town centres where there appear to be parking difficulties, the Council will consider the desirability of seeking additional public parking provision, in the context of policies to promote the use of sustainable travel modes.

### **POLICY IS9: WASTE WATER TREATMENT STANDARDS AND SUSTAINABLE URBAN DRAINAGE**

#### WASTE WATER TREATMENT STANDARDS

The Council's preferred method of dealing with waste water associated with new development will be, in order of priority:

- a) direct connection to the public sewerage system, including pumping if necessary, or failing that:
- b) negotiating developer contributions with Scottish Water to upgrade the existing sewerage network and/or increasing capacity at the waste water treatment works, or failing that:
- c) agreement with Scottish Water and SEPA where required to provide permanent or temporary alternatives to sewer connection including the possibility of stand alone treatment plants until sewer capacity becomes available, or, failing that:
- d) for development in the countryside i.e. not within or immediately adjacent to publicly sewered areas, the use of private sewerage treatment may be acceptable, providing it can be demonstrated that this can be delivered without any negative impacts to public health, the environment or the quality of watercourses or groundwater.

In settlements served by the public foul sewer, permission for an individual private sewage treatment system will normally be refused unless exceptional circumstances prevail and the conditions in criteria (d) above can be satisfied.

Development will be refused if:

- a) it will result in a proliferation of individual septic tanks or other private water treatment infrastructure within settlements,
- b) it will overload existing mains infrastructure or it is impractical for the developer to provide for new infrastructure.

#### SUSTAINABLE URBAN DRAINAGE

Surface water management for new development, for both greenfield and brownfield sites, must comply with current best practice on sustainable urban drainage systems to the satisfaction of the council, Scottish Environment Protection Agency (where required),

## **List of Policies**

Scottish Natural Heritage and other interested parties where required. Development will be refused unless surface water treatment is dealt with in a sustainable manner that avoids flooding, pollution, extensive canalisation and culverting of watercourses. A drainage strategy should be submitted with planning applications to include treatment and flood attenuation measures and details for the long term maintenance of any necessary features.

### **OTHER MATERIAL CONSIDERATIONS**

- Scottish Planning Policy 2014
- SBC Supplementary Planning Guidance on Placemaking & Design 2010
- SBC Supplementary Planning Guidance on Landscape and Development 2008
- SBC Supplementary Planning Guidance on Biodiversity 2005
- SBC Supplementary Planning Guidance on Trees and Development 2008
- SBC Supplementary Planning Guidance on Waste Management 2015



Newtown St Boswells Melrose TD6 0SA Tel: Payments 01835 825251/System Help 01835 826705 Email: corporatebusinesssystems@scotborders.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100290527-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

### Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)  Applicant  Agent

### Agent Details

Please enter Agent details

Company/Organisation:	<input type="text" value="Ferguson Planning"/>		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	<input type="text" value="-"/>	Building Name:	<input type="text" value="Shiel House"/>
Last Name: *	<input type="text" value="-"/>	Building Number:	<input type="text" value="54"/>
Telephone Number: *	<input type="text" value="01896 668744"/>	Address 1 (Street): *	<input type="text" value="Island Street"/>
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	<input type="text" value="Galashiels"/>
Fax Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
		Postcode: *	<input type="text" value="TD1 1NU"/>
Email Address: *	<input type="text" value="tim@fergusonplanning.co.uk"/>		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

### Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mrs"/>	You must enter a Building Name or Number, or both: *	
Other Title:	<input type="text"/>	Building Name:	<input type="text" value="Shiel House"/>
First Name: *	<input type="text" value="Carly"/>	Building Number:	<input type="text" value="54"/>
Last Name: *	<input type="text" value="Anderson"/>	Address 1 (Street): *	<input type="text" value="Island Street"/>
Company/Organisation	<input type="text" value="per Agent"/>	Address 2:	<input type="text"/>
Telephone Number: *	<input type="text"/>	Town/City: *	<input type="text" value="Galashiels"/>
Extension Number:	<input type="text"/>	Country: *	<input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: *	<input type="text" value="TD1 1NU"/>
Fax Number:	<input type="text"/>		
Email Address: *	<input type="text" value="tim@fergusonplanning.co.uk"/>		

### Site Address Details

Planning Authority:	<input type="text" value="Scottish Borders Council"/>		
Full postal address of the site (including postcode where available):			
Address 1:	<input type="text"/>		
Address 2:	<input type="text"/>		
Address 3:	<input type="text"/>		
Address 4:	<input type="text"/>		
Address 5:	<input type="text"/>		
Town/City/Settlement:	<input type="text"/>		
Post Code:	<input type="text"/>		
Please identify/describe the location of the site or sites			
<input type="text"/>			
Northing	<input type="text" value="616805"/>	Easting	<input type="text" value="348750"/>

## Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: \* (Max 500 characters)

Siting of 3 No glamping pods and associated works

## Type of Application

What type of application did you submit to the planning authority? \*

- Application for planning permission (including householder application but excluding application to work minerals).  
 Application for planning permission in principle.  
 Further application.  
 Application for approval of matters specified in conditions.

What does your review relate to? \*

- Refusal Notice.  
 Grant of permission with Conditions imposed.  
 No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

## Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: \* (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

Please see Local Review Statement

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? \*

Yes  No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: \* (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: \* (Max 500 characters)

Please see Core Document List in Local Review Statement Appendix

### Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

20/00343/FUL

What date was the application submitted to the planning authority? \*

25/03/2020

What date was the decision issued by the planning authority? \*

02/07/2020

### Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. \*

Yes  No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be a combination of procedures.

Please select a further procedure \*

By means of inspection of the land to which the review relates

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? (Max 500 characters)

Application refused on the basis of a harmful visual impact on the landscape identified by the Planning Officer, contrary to the written advice of the Council's Landscape Architect. A site visit would enable members to appreciate the profile of the site and proposed development in the landscape.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? \*

Yes  No

Is it possible for the site to be accessed safely and without barriers to entry? \*

Yes  No

### Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? \*

Yes  No

Have you provided the date and reference number of the application which is the subject of this review? \*

Yes  No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? \*

Yes  No  N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? \*

Yes  No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review \*

Yes  No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

### Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated

Declaration Name:

M. C. [REDACTED]

Declaration Date:

11/08/2020 [REDACTED]

Vertical line of text, possibly a page number or header, oriented vertically.



**APPEAL STATEMENT**  
**REF: 20/00343/FUL**

**SITING OF 3 NO. GLAMPING PODS  
AND ASSOCIATED WORKS**

**LAND SOUTH WEST OF STOUSLIE  
FARMHOUSE, HAWICK, SCOTTISH BORDERS**

**ON BEHALF OF: MRS CARLY ANDERSON**

**AUGUST 2020**

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## **EXECUTIVE SUMMARY**

This Statement is submitted on behalf of Mrs Carly Anderson “the Appellant” against the decision of Scottish Borders Council to refuse Planning Permission for the siting of 3 no. glamping pods and associated works on land to the south-west of Stouslie Farmhouse, Hawick on 2nd July 2020 (reference 20/00343/PPP).

The proposed development comprises the erection of glamping pods (small timber cabins) on land within the Appellant’s ownership to the south-west of the principal farmhouse and yard of Stouslie Farm. The glamping pods will be served by a new vehicle access to the highway, hot tubs (one per pod/unit), screening planting, and a small hardstanding carpark which includes a consolidated bin collection point.

The proposed development has been prepared to enable the diversification of Stouslie Farm. The Appellant and her family are committed to the future of the farm and are attempting to secure modest diversification which makes efficient use of as little land as possible to secure the greatest returns.

It is agreed between the Planning Authority and the Appellant that the appeal proposal represents tourism development, the principal of which is consistent with Policy ED7 (the key determining policy). Specifically the appeal proposal is directly compatible with the strategic targets of the Scottish Borders Tourism Strategy 2013-2020, to: ensure overnight accommodation directly relates to consumer expectations and demands and, where possible, act as an attractor of visitors in itself; increase the volume of visitors staying overnight; and to increase overnight visitor spend. Disagreement between the Planning Authority and the Appellant centres on the potential visual impact of the proposed development.

### **Reason for Refusal**

One reason was cited for the refusal of the Application.

The stated reason claimed that the proposed development contradicts Policy ED7 of the LDP as “the site occupies an isolated and exposed location”. The appointed Planning Officer considered that the proposed development “would fail to sympathetically integrate with the character, appearance and sense of place of the surrounding rural area”.

The Appellant does not accept that conflict exists between the design of the proposed development and the rural character of the surrounding area. It is important to note that the



proposed glamping pods comprise timber construction and would be mostly screened by proposed hedge planting. Neither the Decision Notice or the Report of Handling establish what harmful impact would be created by a view of timber cabins, mostly screened by native hedging, in the countryside. It is also material that the highway access, and the small carpark which fronts onto it, would be fully bounded by new hedging and would not be visible from the surrounding countryside.

The Appellant is encouraged by the consultation response of the Landscape Architect which did not object to the proposed development and did not identify a harmful visual impact.

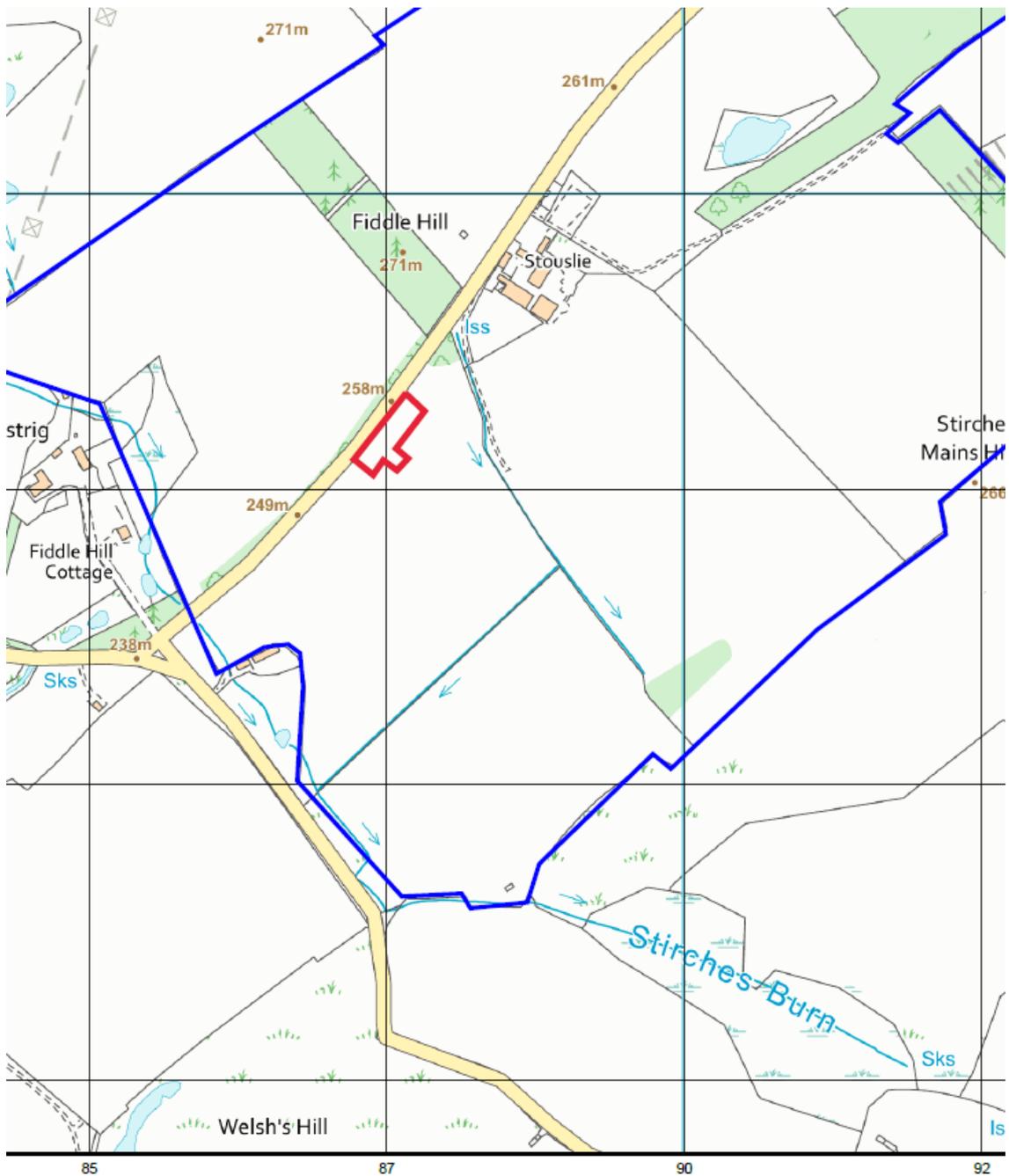
The Local Review Body, having considered the detail contained within the Planning Application package, together with the information set out herein, will be respectfully requested to allow the Appeal and grant Planning Permission.



## 1.0 INTRODUCTION AND PROPOSAL SUMMARY

- 1.1 This Statement in support of Local Review is submitted to Scottish Borders Council on behalf of the Appellant, Mrs C Anderson, against the delegated decision to refuse to grant Planning Permission for the siting of 3 no. glamping pods and associated works on land to the south-west of Stouslie Farmhouse, Hawick.
- 1.2 The appeal site lies within the agricultural holding of Stouslie Farm, a short distance to the south-west of the farmhouse and rest of the farmyard. Stouslie Farm lies a short distance beyond the north-west extent of Hawick. The Appellant and her family are seeking to diversify Stouslie Farm in order to secure a sustainable footing for the agricultural enterprise and provide continuity for future generations of the family. In pursuing agricultural diversification, the Appellant wants to safeguard continued agricultural production and uphold the existing environmental and ecological good practice within the holding, while also sharing the unique qualities of the site and character of the surrounding area with visitors to the local area.
- 1.3 The site comprises a broadly rectangular part of an existing field which sits along the existing north-west boundary. The site is generally flat although sits at a slightly lower level than the adjacent highway and falls away moderately from north-east to south-west. An existing stone wall encloses the site along the boundary with the highway.
- 1.4 The appeal proposal is for the erection of 3 no. new glamping pods on-site. The glamping pods (small timber cabins) will be served by a new vehicle access to the highway, hot tubs (one per pod/unit), new hedging, and a small hardstanding carpark which includes a consolidated bin collection point. Other works include small gravel aprons from the south-west of each cabin, amenity planting within the site, and 2 no. new soakaways handling foul waste and hot tub water (respectively).
- 1.5 The proposed pods are to be sourced prefabricated from an established supplier before being transported to the site and lifted into place. Construction will involve very little on-site assembly and relatively little works altogether for a new tourist accommodation development.

Fig 1: Extract from the Site Location Plan (Source: Glampitect).



# F E R G U S O N P L A N N I N G



- 1.6 The proposed highway access and carpark provide sufficient space on-site for turning and parking of four private cars as well as a refuse collection vehicle at any single time. The Roads Planning Officer has not objected to the proposal.
- 1.7 It is proposed that the development would be served by private foul and surface water drainage arrangements and water supply. The Appellant is content to secure servicing details via condition.
- 1.8 The remainder of this Statement considers the site context and relevant planning policy, before evaluating the accordance of the appeal proposal with the Local Development Plan and other material considerations.



## 2.0 REFUSAL OF APPLICATION BY SCOTTISH BORDERS COUNCIL AND PLANNING POLICY CONTEXT

2.1 Planning Application 20/00343/PPP was refused on 2nd July 2020. The Decision Notice cited one reason for refusal, set out below:

**“1. The development is contrary to Policy ED7 and criterion h), k) and m) of Policy PMD2 of the Local Development Plan 2016 in that the site occupies an isolated and exposed location where the landscape and visual impacts of the proposals would fail to sympathetically integrate with the character, appearance and sense of place of the surrounding rural area and the proposed landscaping does not provide sufficient mitigation of the resulting landscape and visual impacts. Other material considerations do not outweigh this conflict.”**

2.2 Policy ED7 permits business, tourism, and leisure development in the countryside and is copied below.

2.3 The Appellant’s submission is that the Application was made in accordance with Policy ED7 in that the appeal proposal represents new tourism development at Stouslie Farm, enabling the diversification of the existing agricultural enterprise.

Fig 2: Policy ED7 of the Local Development Plan (2016).

**POLICY ED7: BUSINESS, TOURISM AND LEISURE IN THE COUNTRYSIDE**

**BUSINESS, TOURISM AND LEISURE**

Proposals for business, tourism or leisure development in the countryside will be approved and rural diversification initiatives will be encouraged provided that:

- a) the development is to be used directly for agricultural, horticultural or forestry operations, or for uses which by their nature are appropriate to the rural character of the area; or
- b) the development is to be used directly for leisure, recreation or tourism appropriate to a countryside location and, where relevant, it is in accordance with the Scottish Borders Tourism Strategy and Action Plan;
- c) the development is to be used for other business or employment generating uses, provided that the Council is satisfied that there is an economic and/or operational need for the particular countryside location, and that it cannot be reasonably be accommodated within the Development Boundary of a settlement.

In addition the following criteria will also be considered:

- a) the development must respect the amenity and character of the surrounding area,
- b) the development must have no significant adverse impact on nearby uses, particularly housing,
- c) where a new building is proposed, the developer will be required to provide evidence that no appropriate existing building or brownfield site is available, and where conversion of an existing building of architectural merit is proposed, evidence that the building is capable of conversion without substantial demolition and rebuilding,
- d) the impact of the expansion or intensification of uses, where the use and scale of development are appropriate to the rural character of the area,
- e) the development meets all other siting, and design criteria in accordance with Policy PMD2, and
- f) the development must take account of accessibility considerations in accordance with Policy IS4.

Where a proposal comes forward for the creation of a new business including that of a tourism proposal, a business case that supports the proposal will be required to be submitted as part of the application process.

- 2.4 Paragraph 1.2 of the supporting text to Policy ED7 establishes that *“the aim of the policy is to allow for appropriate employment generating development in the countryside whilst protecting the environment and to ensure that business, tourism, and leisure related developments are appropriate to their location.”*
- 2.5 The Application is submitted pursuant to criteria b) and c) and following that the wider set of criteria contained further within Policy ED7.



### 3.0 GROUNDS FOR APPEAL AND CASE FOR THE APPELLANT

- 3.1 The decision of the Planning Authority to refuse the Application is challenged on the basis of the Ground of Appeal set out below. It is the submission of the Appellant that the proposal accords with the relevant adopted policy of the Local Development Plan and Supplementary Guidance and that there are no material considerations which justify the refusal of the Application.
- 3.2 During the course of the Application’s determination, the following consultee responses were received from Council Officers and partners:
- Roads Planning team – No objection.
  - Economic Development – No objection.
  - Landscape Architecture – No objection.

**GROUND 1: THE PROPOSED DEVELOPMENT REPRESENTS RURAL TOURISM DEVELOPMENT WHICH RELATES WELL TO THE APPEAL SITE AND THE SURROUNDING RURAL AREA, CONTRIBUTING POSITIVELY TO THE LOCAL SENSE OF PLACE.**

- 3.3 It is common ground between the Planning Authority and the Appellant that the appeal site lies outside a defined Development Boundary and is in the countryside. It is also agreed by both parties that the appeal proposal accords with criteria b) of the primary considerations listed in Policy ED7. Further it is agreed that glamping both requires a countryside location and represents an appropriate vehicle for farm diversification. The Appellant is also mindful of the Scottish Borders Tourism Strategy 2013-2020. The proposed development is considered to be particularly conducive in implementing the strategic targets: to ensure tourist accommodation directly relates to consumer expectations and demands and, where possible, acts as an attractor of visitors in itself; to increase the volume of visitors staying overnight; and to increase overnight visitor spend.
- 3.4 Disagreement centres on possible landscape impact associated with the proposed development. The appointed Planning Officer clarifies that his concerns relate primarily to views of the proposed development “when viewing from the south”. However, this must be understood in the context of the common ground that “there are no existing buildings which could be converted to provide holiday accommodation at this stage and there appears are no suitable brownfield sites on the farm.”



- 3.5 The Appellant has invested substantial time and effort in selecting an appropriate site and is grateful for the acknowledgement of the appointed Planning Officer that the sequential site selection process is valid and has identified the most appropriate site.
- 3.6 It is of primary importance to understand that the Council’s Landscape Architect, who has responsibility for assessing landscape and visual impacts, did not object to the proposed development. The consultation response of the Landscape Architect stated that the proposed development would give rise to a “modest level of visual intrusion, given the remote location and limit number of roads or locations where it will be visible from”. However, the response also advised “I consider that some more robust planting proposals would better settle the pods into the immediate landscape”.
- 3.7 Pursuant to the consultation response, a revised planting proposal was prepared by the Appellant and submitted to the Council on 8th June. However, the appointed Planning Officer did not see fit to accept the consultee advice. Rather Report of Handling 20/00343/FUL states that “there is no existing landscaping at the site which the proposals can attempt to tie into. In this context the site appears to be set out on its own in the landscape and this is a concern.”

**Fig 3:** Photograph taken on-site showing land falling away sharply along with the south boundary.



- 3.8 Firstly, we are mindful that neither Policy ED7 or Policy PMD2 allows for the refusal of a planning application on the basis that the application site is “isolated”. While Policy PMD2 does briefly discuss isolation, the text establishes only that development proposals should “*minimise the need for turning heads and isolated footpaths*”; it does not establish that development proposals may be refused if an application site can be understood to be isolated. Secondly, at closest point, the appeal site lies approximately 100 metres south-west of Stouslie Farm. Another two existing dwellings – Priestrig and Priestrig Bungalow – in addition to a holiday cottage also lie within 200 metres to the west of the appeal site. It is the Appellant’s position that it is incorrect to ignore the relatively substantial developed parcels to the east and west in any understanding of the site and its surroundings. Within this context, it is considered that it would be unreasonable to understand the appeal site as being “isolated”.



- 3.9 It is factually incorrect to state that “there is no existing landscaping at the site”. The appeal site mainly consists of a single level adjacent to the south-east of the public road. As can be seen in the following images, land falls away sharply on the three sides not bounded by the public road. This landform creates a distinct parcel beyond which the Planning Authority can easily resist further development. Views of the site from the south are profiled by a field boundary of mature trees which lie on the other side of the road, as visible below. With regards to the comment about further visual impact associated with future expansion, the Appellant is happy to disclose that she has no plans for subsequent expansion of the proposed development on-site.

**Fig 4:** Photograph taken from the south-west looking north towards the site. The steep gradient of land falling away to the west of the site is circled in orange.



- 3.10 It is not accepted that the proposed landscaping “offers little ... to assimilate the development into the surrounding landscape”. Rather the proposed landscaping has been designed to complement the local landscape character. As the Site Location Plan (at Fig.1.) shows, the minor public road identified lies south of the appeal site, at more of a parallel angle than a perpendicular angle. In this context, the layout of the hedges proposed between the pods is particularly beneficial as each hedge protrudes outward in a curtain, serving to semi-screen each pod from inward views.
- 3.11 Clearly semi-screening will not fully obscure the proposed development from view. However it will make perspectives of the pods more difficult to gain, and those which are visible will essentially represent log cabins partly visible through native hedge planting. At this point it is material to note that the local landscape character is defined by its verdant greenery, visible in large panoramas, together with a small number of farms and houses dispersed throughout the area. It is not and does not have the appearance of an un-developed or un-populated wilderness. Given the timber construction of the proposed glamping pods and their secondary nature – a means to diversify an established agricultural enterprise – semi-screened by native hedging, the proposed development is considered to be acceptable in landscape terms.

**Fig 5:** Extract from 200104-11-01 Proposed Landscaping Plan (Source: Glampitect)





- 3.12 Report of Handling 20/00343/FUL states “the linear position of the development across the summit of the field will draw attention and land engineering works could exacerbate its visual impact by not tying in sympathetically with the natural landform.” It is not accepted that the appeal site occupies a summit position. Ordnance Survey have detailed their map (extract at Fig.1.) local to the area with spot heights along the highway. These clearly demonstrate that land falls away from north-east to south-west. The spot height furthest to the north-east reads 261m (above sea level), the (middle) spot height adjacent to the west boundary of the site reads 258m, while the spot height furthest south-west reads 249m. Additionally, the site can be seen to lie in the portion of land which slopes downward between Fiddle Hill (271m) to the north-east and Stirches Mains Hill (266m) to the south-east.
- 3.13 Clearly the appeal site cannot be accurately understood to occupy a summit position; given that there are three identified spot heights nearby which are all higher than the one adjacent to the site. Indeed the shorter of the two named hills stands 8 metres (c. 26 feet) taller than the highest land within the appeal site. Incidentally, this hill also happens to stand directly between the site and the Borders Abbeys Way.
- 3.14 It is a matter of fact that there is no visibility from the Borders Abbeys Way through onto the appeal site. The route itself runs to the east of the site, at closest coming just within 900 metres. Any would-be views from the south are totally obscured by Stirches Mains Hill which stands 38 metres (c. 125 feet) above vantage points on the Borders Abbeys Way (266m to 228m). Views are similarly obscured from the north. Fiddle Hill stands 23 metres (c. 75 feet) above would-be vantage points (271m to 248m). Additionally a field boundary of mature trees sits between the site and Fiddle Hill (shown in Fig.’s 4. & 6.). Behind these substantial and distinct landscape features the slight form of the proposed log cabins (2.8m tall by 3.2m wide) would not be visible at any time of year. N.B. the majority of spot heights referred to in this paragraph are not visible on Fig.1. but are available on the Site Location Plan submitted.
- 3.15 It is noted that the appointed Planning Officer considered that the “scale and design of the pods are not necessarily challenging however there will also be visibility of the associated hardstanding’s, hot tubs, and parked cars in the site” which the appointed Planning Officer considers to be harmful. However, the small hardstanding carpark is to be enclosed to the south and east with new hedging (Fig.5.). The Appellant intends to maintain the new hedge at a height sufficient to preclude inward views from the



surrounding countryside. Similarly the on-site hot tubs will benefit from proposed screening together with the rest of the site, as described in paragraph 3.10.

- 3.16 The justification which supports the reason for refusal also identifies the harmful impact on the landscape which the appointed Planning Officer believes “land engineering works” would create. For the sake of clarity, the proposed development does not include or require the creation of soil heaps or bunds. Furthermore the proposed development comprises a modest quantity of new hardstanding, which is extensively screened with new hedging.
- 3.17 It is the position of the Appellant that the proposed development is acceptable in landscape terms. However should members not accept this position; the Appellant is prepared to accept a condition requiring the boundary of the land level upon which the glamping pods are proposed, which looks out towards Welsh’s Hill, to be planted with a hedgerow of native plant species (beech or similar). Should it be considered necessary, then the hedge can be maintained at a maximum height of 1.25 metres.

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**Fig 6:** Photograph taken from the slopes of Welsh's Hill (south of the site) looking north. The flat level upon which development is proposed is circled in orange.



- 3.18 It should be noted that, due to the angled line of sight from the public road (visible below), a hedge standing 1 metre tall shall screen built form standing substantially higher. This natural credential enables on-site screening to 'punch above its weight' and achieve a greater degree of screening than would be possible on sites sitting on level gradients.



- 3.19 As stated above, it is considered that the proposed development is sympathetic to the character of the surrounding rural area and acceptable in landscape terms. Therefore it is the Appellant's position that the appeal proposal accords with criteria a) of Policy ED7, listed under additional considerations, as well criteria h) and k) of Policy PMD2 as all three are materially similar. Criteria m) of Policy PMD2 requires the provision of "appropriate boundary treatments" – as paragraphs 3.10 & 3.11 set out the suitability of proposed boundary treatments the appeal proposal also accords with criteria m).
- 3.20 The proposed development is considered to accord with Policy ED7. It is agreed between the Planning Authority and the Appellant that the proposed development represents tourism development and satisfies criteria b) listed under the primary considerations within Policy ED7. The nature of the proposed development is considered to be sympathetic to the character of the rural area and not to give rise to adverse visual impacts. Moreover, a considerate landscaping plan has been proposed to provide screening for the proposed development and the Appellant is willing to accept a condition requiring a hedge to be planted, should this measure be considered essential. As described above, the proposed development is considered to represent good design and therefore to accord with Policy PMD2 which requires good design in development proposals.



## 4.0 CONCLUSIONS

- 4.1 The Appeal, supported by this Statement, requests that the Council overturns the decision to refuse Planning Permission for Application 20/00343/PPP and grant consent for the siting of 3 no. glamping pods and associated works on land to the south-west of Stouslie Farmhouse, Hawick.
- 4.2 The proposal is for the erection of three glamping pods (small timber cabins) on a site lying approximately 100 metres south-west of the existing farmyard. The Council's Landscape Architect commented on the proposed development during the Application's determination and did not object. The proposed development represents good quality design which is sympathetic to the rural character of the local area. Extensive hedge planting has been proposed to assist with integrating the glamping pods into the surrounding area. The sight of timber cabins (or their roofs visible above bushes or a hedgerow) in the countryside is not a harmful one and is considered to be acceptable. Therefore the proposal is considered be acceptable in both planning and landscape terms, in accordance with Policy ED7.
- 4.3 The proposed development is motivated by the desire of the Appellant to diversify the established agricultural enterprise at Stouslie Farm. This diversification is supported by the Scottish Borders Tourism Strategy and Action Plan 2013-2020 which encourages the establishment of new tourist accommodation.
- 4.4 Vehicle access to the adopted highway is proposed via a new access and parking is proposed on a new small hardstanding carpark on-site. A consultation response was received from the Roads Planning Officer who did not object to the proposal.
- 4.5 The Local Review Body is respectfully requested to allow the appeal for the siting of 3 no. glamping pods and associated works.



## APPENDIX 1

### Core Documents

The following drawings, documents, and plans have been submitted to support the appeal:

- Appeal Form;
- CD1 Local Review Statement, prepared by Ferguson Planning;
- Application Form;
- CD2 Design and Access Statement, prepared by Glampitect;
- CD3 Location Plan, prepared by Glampitect;
- CD4 200104-1-01 Proposed Layout Plan, prepared by Glampitect;
- CD5 200104-2-01 Proposed Drainage Plan, prepared by Glampitect;
- CD6 200104-3-01 Proposed Road Plan, prepared by Glampitect;
- CD7 200104-4-01 Proposed Visibility Splay, prepared by Glampitect;
- CD8 200104-9-01 Floor Plans and Elevations, prepared by Glampitect;
- CD9 Stouslie Snugs Market Research, prepared by Glampitect;
- CD10 Stouslie Snugs Site Selection Report, prepared by Glampitect;
- CD11 Percolation test results, prepared by Jackie Johnston Ltd;
- CD12 Water Supply Details, prepared by Carly Anderson;
- CD13 Soft Landscaping Proposal, prepared by Carly Anderson;
- CD14 Representation Letter dated 2nd June, prepared by Carly Anderson;
- CD15 Letter of Support from Business Development Scottish Borders;
- CD16 Report of Handling 20/00343/FUL; and
- CD17 Decision Notice 20/00343/FUL.

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Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100243849-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

## Type of Application

What is this application for? Please select one of the following: \*

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

## Description of Proposal

Please describe the proposal including any change of use: \* (Max 500 characters)

Proposed are a total of three handmade timber glamping pods & eco-friendly hot tubs & decking/outdoor seating/firepit/barbecues areas. The proposed site will function in ecological & logistical harmony with the surrounding environment and current farm activities. The proposed plot is currently a small section of one of the farms many green fields, so would constitute a change of use from farm/grazing land to holiday let accommodation. Please see the site selection report for more information.

Is this a temporary permission? \*  Yes  No

If a change of use is to be included in the proposal has it already taken place?  
(Answer 'No' if there is no change of use.) \*  Yes  No

Has the work already been started and/or completed? \*

No  Yes – Started  Yes - Completed

## Applicant or Agent Details

Are you an applicant or an agent? \* (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)  Applicant  Agent

## Agent Details

Please enter Agent details

Company/Organisation:	Glampitect		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Alisdair	Building Name:	
Last Name: *	Young	Building Number:	10
Telephone Number: *	0131 248 3019	Address 1 (Street): *	Lochside Place
Extension Number:		Address 2:	
Mobile Number:		Town/City: *	Edinburgh
Fax Number:		Country: *	Scotland
		Postcode: *	EH12 9RG
Email Address: *	contact@glampitect.co.uk		

Is the applicant an individual or an organisation/corporate entity? \*

Individual  Organisation/Corporate entity

## Applicant Details

Please enter Applicant details

Title:	Mrs	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	Stouslie Farmhouse
First Name: *	Carly	Building Number:	
Last Name: *	Anderson	Address 1 (Street): *	Stouslie Farmhouse
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Hawick
Extension Number:		Country: *	UK
Mobile Number:		Postcode: *	TD9 7NX
Fax Number:			
Email Address: *			

## Site Address Details

Planning Authority:

Scottish Borders Council

Full postal address of the site (including postcode where available):

Address 1:

STOUSLIE FARMHOUSE

Address 2:

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

HAWICK

Post Code:

TD9 7NX

Please identify/describe the location of the site or sites

Northing

616944

Easting

348850

## Pre-Application Discussion

Have you discussed your proposal with the planning authority? \*

Yes  No

## Pre-Application Discussion Details Cont.

In what format was the feedback given? \*

Meeting  Telephone  Letter  Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) \* (max 500 characters)

Pre-planning application was submitted in late January 2020. Feedback from Planning & Development Standards Manager received in February 2020. The feedback highlighted several areas where more information was required to make a proper assessment with regards to likely objection/approval. This information is included in this full planning application.

Title:

Mr

Other title:

First Name:

John

Last Name:

Hayward

Correspondence Reference Number:

20/00052/PREAPP

Date (dd/mm/yyyy):

21/02/2020

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

## Site Area

Please state the site area:

1862.00

Please state the measurement type used:

Hectares (ha)  Square Metres (sq.m)

## Existing Use

Please describe the current or most recent use: \* (Max 500 characters)

The field where the site is to be located, is currently an empty green area suitable for grazing. The proposed site would occupy less than 4% of the area of the field.

## Access and Parking

Are you proposing a new altered vehicle access to or from a public road? \*

Yes  No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? \*

Yes  No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

0

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? \*

4

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

## Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? \*

Yes  No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? \*

- Yes – connecting to public drainage network  
 No – proposing to make private drainage arrangements  
 Not Applicable – only arrangements for water supply required

As you have indicated that you are proposing to make private drainage arrangements, please provide further details.

What private arrangements are you proposing? \*

- New/Altered septic tank.  
 Treatment/Additional treatment (relates to package sewage treatment plants, or passive sewage treatment such as a reed bed).  
 Other private drainage arrangement (such as chemical toilets or composting toilets).

Please explain your private drainage arrangements briefly here and show more details on your plans and supporting information: \*

Please refer to drainage plans drawing - 200104-2-01 for more information. Drainage from pods will gravity flow to a sewage treatment tank. Outflow of this tank will discharge to a suitably sized soakaway. Drainage from hot tubs will gravity feed to a separate soakaway. Through contact with SEPA we understand that no chemicals can be discharged and water must be cooled to ambient before discharge. As wood fired eco-hot tubs have been specified, no chemicals are required on their operation.

Do your proposals make provision for sustainable drainage of surface water?? \*  
(e.g. SUDS arrangements) \*

Yes  No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? \*

- Yes  
 No, using a private water supply  
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

## Assessment of Flood Risk

Is the site within an area of known risk of flooding? \*

Yes  No  Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? \*

Yes  No  Don't Know

## Trees

Are there any trees on or adjacent to the application site? \*

Yes  No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

## Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? \*

Yes  No

If Yes or No, please provide further details: \* (Max 500 characters)

A section of the proposed parking area has been identified for waste/recycling collection. Please refer to the Proposed Road Plan drawing - 200104-3-01

## Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? \*

Yes  No

## All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? \*

Yes  No

## All Types of Non Housing Development – Proposed New Floorspace Details

For planning permission in principle applications, if you are unaware of the exact proposed floorspace dimensions please provide an estimate where necessary and provide a fuller explanation in the 'Don't Know' text box below.

Please state the use type and proposed floorspace (or number of rooms if you are proposing a hotel or residential institution): \*

Class 7 Hotels and Hostels

Gross (proposed) floorspace (In square meters, sq.m) or number of new (additional) Rooms (If class 7, 8 or 8a): \*

65

If Class 1, please give details of internal floorspace:

Net trading spaces:

Non-trading space:

Total:

If Class 'Not in a use class' or 'Don't know' is selected, please give more details: (Max 500 characters)

## Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) \*

Yes  No  Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

## Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? \*

Yes  No

## Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? \*

Yes  No

Is any of the land part of an agricultural holding? \*

Yes  No

Do you have any agricultural tenants? \*

Yes  No

## Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate E

## Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate E

I hereby certify that –

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) - The land to which the application relates constitutes or forms part of an agricultural holding and there are no agricultural tenants

Or

(1) – No person other than myself/the applicant was the owner of any part of the land to which the application relates at the beginning of the period 21 days ending with the date of the application.

(2) - The land to which the application relates constitutes or forms part of an agricultural holding and there are agricultural tenants.

Name:

Address:

Date of Service of Notice: \*

(4) – I have/The applicant has taken reasonable steps, as listed below, to ascertain the names and addresses of the other owners or agricultural tenants and \*have/has been unable to do so –

Signed: Alisdair Young

On behalf of: Mrs Carly Anderson

Date: 25/03/2020

Please tick here to certify this Certificate. \*

## Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? \*

Yes  No  Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? \*

Yes  No  Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? \*

Yes  No  Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? \*

Yes  No  Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? \*

Yes  No  Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

Site Layout Plan or Block plan.

Elevations.

Floor plans.

Cross sections.

Roof plan.

Master Plan/Framework Plan.

Landscape plan.

Photographs and/or photomontages.

Other.

If Other, please specify: \* (Max 500 characters)

Provide copies of the following documents if applicable:

A copy of an Environmental Statement. \*

Yes  N/A

A Design Statement or Design and Access Statement. \*

Yes  N/A

A Flood Risk Assessment. \*

Yes  N/A

A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). \*

Yes  N/A

Drainage/SUDS layout. \*

Yes  N/A

A Transport Assessment or Travel Plan

Yes  N/A

Contaminated Land Assessment. \*

Yes  N/A

Habitat Survey. \*

Yes  N/A

A Processing Agreement. \*

Yes  N/A

Other Statements (please specify). (Max 500 characters)

## Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mrs Alisdair Young

Declaration Date: 25/03/2020

## Payment Details

Online payment: XM0100003712

Payment date: 25/03/2020 14:55:00

Created: 25/03/2020 14:55

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# DESIGN & ACCESS STATEMENT

TO SUPPORT THE DEVELOPMENT OF A GLAMPING  
POD SITE ON STOUSLIE FARM, NEAR HAWICK.

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## Executive Summary

Proposed are a total of three handmade timber glamping pods with individual eco-friendly wood fired hot tubs, decking, gravel, outdoor seating and firepit/barbecues areas. The proposed site will be named "Stouslie Snugs Luxury Glamping Pods" and will function in ecological & logistical harmony with both the environment and current farm activities.

One of the three pods will be angled to the west more than the others to benefit from excellent views of the rolling landscape down Teviotdale valley. All pods are to be manufactured and supplied by Lune Valley Pods.

The proposed glamping site is close to the town of Hawick and will provide subtle, discreet and luxurious rural accommodation for tourists visiting this area's many attractions or for Border's residents to enjoy short breaks. The site location is near to the A7 road and is a 1.5hr drive from Edinburgh & Newcastle and a 2-hour drive from Glasgow. It will therefore be suited to short & weekend breaks for residents of these cities. This of course brings visitors benefits to the area, such as more money being spent in restaurants, shops and attractions in and around Hawick.

## Reason for diversification

The Anderson family has been farming for many generations in the Hawick area by renting from the Buccleuch Estate. 'J & S Anderson' as the business is known, previously rented two small farms 2 miles north of Hawick, which were run together to make a viable farming unit. Stouslie farm was held on a secure tenancy whilst the other farm, West Boonraw, was held on a limited partnership.

In May 2017, the Buccleuch Estate terminated the limited partnership leaving us to either buy the farm or get out. So, we spent a year negotiating a new deal: the purchase of Stouslie Farm along with a 12-and-a-half-year Modern Limited Duration Tenancy on West Boonraw farm.

When the tenancy agreement ends the business will be in a position to clear most of the mortgage however Stouslie Farm on its own is not big enough to provide a sufficient income. As a result, we are looking at ways to diversify our farm in order to secure the sustainability of the business and provide an opportunity for the younger generation (our son) to continue working one of the UK's most important industries. As a family, we want to continue to be able to manage the rural environment and wildlife, play our role in providing food for the nation but now also have the opportunity to share this with visitors in our luxury accommodation.

## Site and Surrounding Area

### Location

The proposed site is located approx. 2km north of Hawick. From Hawick, Stouslie farm is reached by turning left off the A7 onto an unnamed road or by taking the Stritches Road, which also connects to the unnamed road just mentioned. The farm is approx. 2.5km along the unnamed road from the A7 turnoff.

### Proposed Site Information

The plot for the proposed glamping site will occupy approx. 1862m<sup>2</sup> of one of Stouslie Farm's field. The field is currently a large open & grassy space, bordered by roads to the north and west and more grassy fields to the south & east, where fencing and hedgerows demarcate the boundaries.

To the western boundary is a neighbouring building, which we understand is used for holiday lets. The building is 160m away from the glamping site and naturally shielded from it by trees and the gradients of the land. It should therefore not be affected by noise from the glamping site, which we would not expect to an issue in any case.

### Site Selection

Please see the site selection report for a full analysis of why this particular site has been chosen on the farm to diversify into holiday accommodation. Extract of the summary of the report can be found below:

*"In conclusion, it is clear to see why site 2 is the preferred location for diversification as it meets all but one of the site selection criteria. This particular requirement is consistent across all four sites where some land development will need to take place.*

*The topography of this particular field is a little unusual in that a strip of approx. 20m from the road has a higher elevation than the rest of the field. This creates a natural plateau which results in a reduced need for groundwork construction, gravity drainage from the pods to the private drainage system and provides a beautiful view of rolling hills down Teviotdale valley which are both extremely appealing to guests staying at the pods and the owners from a marketing viewpoint.*

*The existing trees, hedges and dyke stone wall will both shelter and help blend the pods into the context of the landscape. We will also plant hedge around the decking area to provide a natural privacy wall for each pod and plant wild flowers on the banking in front of the pods to encourage and create a new habitat for insects and wildlife as well as enhancing the natural beauty of the environment with rich colours.*

*The proposed site is also a generous distance from the nearest neighbouring property. As glamping customers tend to be more focused on relaxation than rowdiness, this location is very unlikely to have any negative impact to neighbours.*

*Glamping accommodation is an on trend, different and quirky type of accommodation which the Scottish Borders is lacking. Coupled with added luxuries like a hot tub it can act as an attraction to the area in itself."*

## Access

The field is currently accessed from a farm track leading from Stouslie Farm. This would be suitable access for plant equipment in order to prepare the site for installation of glamping pods. It would not however be suited to customer use, due to it being unsurfaced, quite steep and because it joins the public road at an oblique angle.

Access to the glamping site for guests is intended to be from the unnamed road to the north of the site. This will entail removing approximately 6m of boundary wall, to allow cars to safely turn in/out of the site. Any dyke stones that are removed, will be re used elsewhere on the farm for repairs to other boundary walls.

A permeable road surface will be used for the very small section from the road to the parking area. The new access point identified is just left of the top of a crest on the road. Positioning the access at this point will prevent and run-off water entering the site from the road. The natural gradient of the field (downward from the road level) will also prevent and run-off water entering the road from the site. Car parking for guests will be provided within the site boundary by the site entrance from the road, for customer use. A total of 4 parking bays will be constructed, one for each pod plus one additional space for staff/service use. The parking surface will be permeable to prevent surface water build up or run off.

## Justification for Proposed Use

Being located so close to Hawick in the Scottish Borders. The pods will offer high quality, luxurious and contemporary accommodation in a rural setting for tourists visiting the area and nearby borders attractions. The intention is for the site to provide an idyllic, relaxing retreat with stunning views out over the rolling borders landscape looking down Teviotdale valley. Our hope is that guests will stay for several days at a time (short stays) as opposed to more common day-trip visits. This will allow more time to explore attractions such as castles & country houses, farmers markets, museums, other historic border towns etc and for events such as the Reivers festival, Common ridings and the Border Union Show. This in turn brings more money to the local economy.

We anticipate a large portion of guests will be residents of Edinburgh, Newcastle, Glasgow, Carlisle and even Manchester as they are all relatively close by car. That said, borders residents & tourists on larger tours of Scotland will also be attracted to the site due to glamping's popularity and the previously mentioned proximity to fantastic attractions.

Existing accommodation offering short term stays tend to be limited to either bed & breakfast & guest houses. In fact, there only appears to be two hotels in Hawick (Balcarry & Mansfield House Hotels). By offering 'on-trend' high-end Glamping accommodation, the pods will attract new visitors, be profitable and bring new custom to the local economy.

The proposed site will be on a tranquil green area. Glamping installations require minimal ground works or harmful construction practices. A small amount of concrete will be required to provide a level 4" thick pad for the pods to sit on, but again this is much less than required for a typical building foundation. It is important to note that Glamping pods are temporary structures similar to a static caravan, so can be removed more easily and cleanly than a traditional building can. We therefore believe the pods provide an ecologically viable accommodation solution, suited to the area.

## Intended Use

### Accommodation Pods

The pods would be rented out on a per-nightly basis. Patrons would likely be couples, friends or families using 1 pod, or groups split into multiple pods. For this reason, the pods have been sized to accommodate a family of two adults and two children.

The site would be operated as a typical (year-round) holiday let, much like a caravan site, but with much fewer guests meaning less noise and disruption to neighbouring properties and road users etc. The site will also be marketed as a peaceful and relaxing retreat, which again should mean noise from guests is not a consideration. There is absolutely no intention to use the pods for long term lease / permanent residences. Such a small-scale development and the compact footprint of the pods would not be suited to this in any case.

Please see the accompanying business plan for full details on the vision for this business.

## Amount

The table below shows the breakdown of used area and remaining green space.

Note: - Stouslie farm is so large (approx. 1.4M m<sup>2</sup>) that any analysis on change of area from the proposed glamping site becomes insignificant. For this reason, we have considered the change of area of the field in which the proposed site is to be located.

Land Usage Item	Area Used	% of Overall Boundary
Overall Farm Site	1.4 million m <sup>2</sup>	-
Area of Field	48,000 m <sup>2</sup>	100%
Proposed Site Area	1862 m <sup>2</sup>	3.88 %
Green Space – Current	48,000 m <sup>2</sup>	100 %
Green Space – After Site Build	47,364 m <sup>2</sup>	98.67 %
Glamping Pods	65.1 m <sup>2</sup> (21.7 m <sup>2</sup> per pod)	0.14 %
Hot Tubs	6 m <sup>2</sup> (2m <sup>2</sup> per pod)	0.01 %
Parking	304 m <sup>2</sup>	0.63 %
Footpaths	96 m <sup>2</sup>	0.2 %
Decking Area	77.8 m <sup>2</sup> (25.9m <sup>2</sup> per pod)	0.16 %
Gravel Picnic Area	87.5 m <sup>2</sup> (29.1m <sup>2</sup> per pod)	0.18 %

## Layout

### Parking & Site Entrance

Guests will arrive at the parking area for the new glamping site. From the parking area, guests will access the site using footpaths to be constructed throughout the site.

Recycling & waste bins will be sited in the car park to allow council collections.

Signage for the glamping business will be erected by the entrance.

## Reception

The intention is to have an automated entry system (using key safes) with instructions for guests included within their confirmation email. This removes the need for a dedicated reception/storage building on site.

## Glamping Pods

The glamping pods are manufactured by Lune Valley Pods and measure 6.7m by 3.2m (please see drawing for full elevation, layout and photographs). Each pod is handmade from timber using 5th Redwood for the interior and Siberian larch for the exterior which requires no maintenance as it will 'silver' over time. They are built onto a steel galvanised base with lifting points to allow the pods to be lifted safely into position onto the concrete pad with no danger to the structure. Another benefit of using temporary accommodation (glamping pods) for this development, is that should the pods need to be removed at a later date, utility supplies are disconnected and the pods are lifted off-site, with minimal disruption/environmental impact.

The pods are fitted with brown Britmet which is a lightweight roofing tile that comes with a 40-year guarantee. The colour and shape of this pod will help it blend into the natural context of the landscape with the trees and hedge backing the site.

The pods come fully insulated in the floor and roof and are fitted with double glazing throughout. These particular pods have a full glass front in order for guests to enjoy the spectacular views from the comfort of the corner sofa in the living area.

Also included as standard within each pod are full electrics i.e. led lights, sockets, underfloor heating. A kitchenette, toilet and shower, double bed, corner sofa and dining area is also on offer. Please see the business plan for full details.

The main path from the parking area will run westward along the back of the pods, in line with the northern boundary. An individual access path will lead from the main path to each pod.

All pods will have a decking area surrounding a eco-friendly wood fired hot tub. These hot tubs use no chemicals and require no electrical supplies. They do not feature water pumps, instead relying on natural convection to move water around the hot tub. An appropriately sized & located flu will control smoke discharge.

An outdoor seating area including a firepit/barbecue will be adjacent to the hot tub decking. This will be finished with gravel/stone chippings. The pods will be oriented to allow views from the pod entrances out to the landscape (approx. 15° clockwise from due south). The most westerly pod will be rotated further (approx. 35° clockwise from due south) to encompass more of the landscape.

## Drainage

South of the pod sites, the gradient of the land becomes noticeable steeper, before evening out again. Drainage pipework will be installed below the ground so that discharge from the pods will gravity flow down to the lower flat level, to an appropriately sized treatment tank and soak away in compliance with SEPA guidelines.

Water to be drained from the hot tubs, will be allowed to cool to ambient temperature before discharging to a standalone (appropriately sized) soakaway. This arrangement has been discussed with SEPA and provided that no chemicals are discharged to the soakaway / local environment, no approval is required.

## Waste & Recycling

Suitably sized bins shall be provided next to the car parking area, to allow disposal & recycling of waste.

## Scale

All proposed structures are small single storey cabins (approx. 3m tall), so no restriction of neighbouring views is anticipated. The site boundaries will be finished with fencing where required and will use existing trees & hedgerows for privacy and to minimise the appearance of the pods further. As previously noted, since the pods are of timber construction with brown roofs, they tend to blend into the landscape in any case.

The A7 & unnamed road (to Stouslie farm) are well maintained and are in good condition. They are both sufficiently sized so that any increase in traffic from guests of the site will have little to no impact above current rates. We anticipate any changes to be minor due to the relatively low occupancy of the pods (3 cars at any one time), coupled to the fact that road currently has few users. The unnamed road is narrow, so the entrance to the site shall be appropriately sized (6m in width) and will be profiled allow consistent gradient between the unnamed road and parking area.

## Landscaping

Minor levelling will be required to create suitable footings for the pods and other structures. The intention is to maintain the overall gentle gradient of the site, thus preventing the need for any retaining walls and to aid drainage.

Structures on the finished site may therefore be at slightly different elevations relative to each other. Broken ground will be re-instated & wooden fencing will be erected to demarcate the site boundary. A hedge will be planted round the decking area of each pod to provide a natural privacy wall for guests and additional shelter from the wind. Wooden fencing will be used in the interim until the hedge grows to its full height. All footpaths will consist of stone chips (slate for example).

The banking at the foot of the pods will be planted with wild flowers pods to encourage and create a new habitat for insects and wildlife as well as enhancing the natural beauty of the environment with rich colours.

## Build Phases

### Stage 1 - Access

The existing farm access road (and roads mentioned previously) will provide suitable access to plant. Guests will eventually access via a new entrance from the road on the northern boundary. If it is deemed that this access point is preferred for plant equipment access also, removing the section of wall to provide the new access will be the first task of the build.

### Stage 2 - Groundwork

Very little ground levelling will be required on site, due to the naturally flat plateau selected for the pods. The main groundwork task will be installing the drainage system. This will entail some digging/trenching to lay suitable pipework and to manage the gradient changes between the level of the pods and the lower level of the treatment tank & soakaway. Groundworks will then focus on preparing the concrete pads for the pod sites and gas cylinder housing area.

Following this, services ducting will be laid for power and water as required from the existing farm connections. Pipework will be run for water & cables for electricity will be pulled to site. A private water supply will be used for the Glamping site. At present this supplies Stouslie farm, Priestrig croft and Fiddlehill holiday let. In line with advice previously provided by the planning department to Fiddlehill holiday let, a UV filter will be installed on the site water connection, to ensure the water quality meets the recommended standard for public use. Please advise if this does not meet required standard.

Trenching will also be completed to lay the pipework for the gas connections into each pod from the main gas housing area following Calor gas regulations.

Internet will be provided by satellite through Borderlink. Neighbours in this area are currently in talks with Borderlink to construct a new satellite station for this rural neighbourhood to enjoy faster and reliable broadband.

### Stage 3 – Pod Install

Pods are delivered to the site and installed (after being fabricated off-site). Positioning of the pods will either be via the Hiab transporter delivering the pods or using tractor/plant equipment. Once the pods are in place electricity, gas and water will be connected to each pod. Then work will begin building the surrounding decking and installation of the hot tub.

Following this, footpaths throughout the site will be laid consisting of type 1 stone chips and landscaping will then commence. This will include the reinstatement of broken ground, planting hedge, construction of fencing and planting wild flowers as previously mentioned.

### Stage 4 – Roads, Parking & Clean

No more plant/transport access is required other than to build the parking spaces. These shall consist of permeable surface to allow surface water to drain naturally.

Work on the dyke stone wall will also commence. The newly opened end sections of dyke will be contoured to the ground to provide the required stability, as well as safe access and road visibility.

Finally, a total clear-out of the site will be done to ensure no leftover waste from the build stage is left. All cleaning waste will be recycled where possible and safely disposed of otherwise.

## Summary

Glamping pod sites proposed in this location will provide a new and exciting accommodation option, to supplement the nearby alternatives in Hawick. This will increase footfall for local businesses and through correct marketing, should increase the length of time that visitors stay in the local area. This should be beneficial to local retailers, tourist attractions and events.

The construction of a glamping site in this location can be achieved in less time, with less intrusive construction methods and less environmental impact, than traditional luxury accommodation builds require. This is clearly favourable in an area of countryside rich in natural & beauty and ties in with the land owner's ecologically responsible ethos, while also aligning with the Scottish Borders Tourism Strategy 2013-2020 targets by:

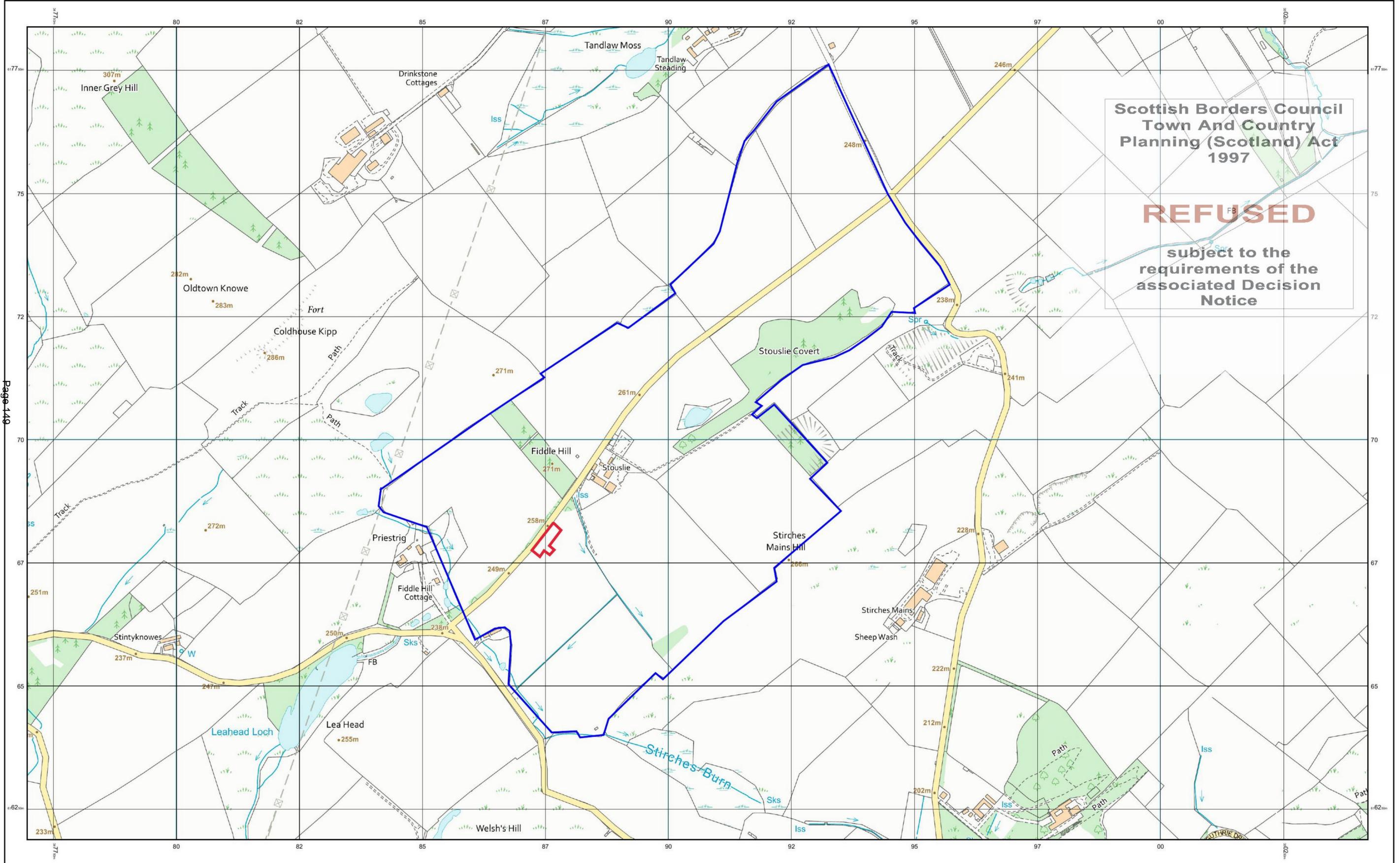
- Increasing volume of overnight visitors.
- Increasing overnight visitor spend.
- Ensure the Region's accommodation offerings meet consumer demands and where opportunities are available can act as an attractor of demand in themselves.
- Ensure a relevant range of types of accommodation is available across the Region to meet evolving market demand and expectations. Identify opportunities where better quality and new products can 'lead' and generate new demand and will continue to raise average quality quotient across all forms of accommodation







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Scottish Borders Council  
Town And Country  
Planning (Scotland) Act  
1997

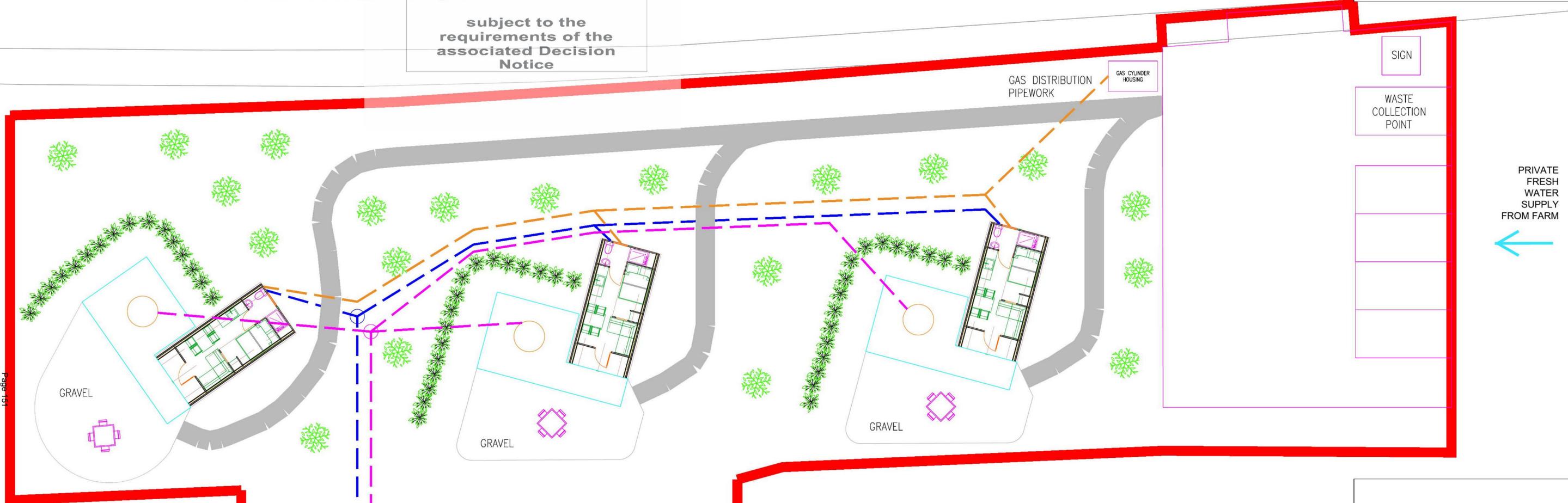
20/00343/FUL  
02.07.2020

**GLampitect**

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T: 0131 248 3019

**REFUSED**

subject to the  
requirements of the  
associated Decision  
Notice



Page 1st

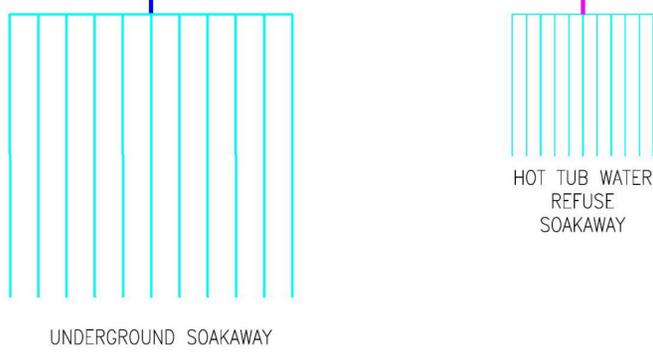
MAIN LAYOUT (SCALE 1:100)

150mm dia. uPVC PIPEWORK ROUTE THROUGHOUT IN COMPLIANCE WITH BS EN 12056-1:2000

750mm GRP INSPECTION CHAMBER IN COMPLIANCE WITH BS EN 12056-1:2000

12 PERSON TREATMENT PLANT IN LINE WITH WITH ALL SEPA STIPULATIONS AND BS EN 12056-1:2000

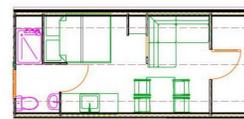
UNDERGROUND SOAKAWAY FULLY COMPLIANT WITH ALL SEPA STIPULATIONS



NOTES

1. DO NOT SCALE FROM THIS DRAWING

KEY TO SYMBOLS



BENCH AND SEATING

WILDFLOWERS

INDIGENOUS SHRUBBERY

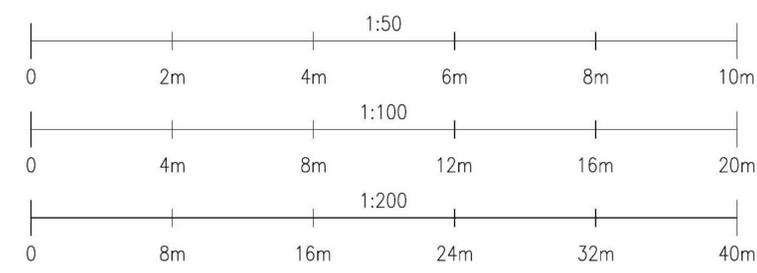
— DRAINAGE

— ROAD / PARKING

— FOOTPATH

— GAS PIPEWORK

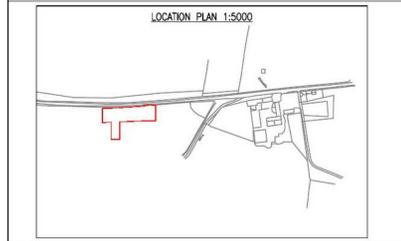
○ HOT TUB



SCALE BARS

Date	Description	Rev	By
14/03/20	UPDATED IN LINE WITH SITE DISCUSSIONS AND PRE-PLANNING ADVICE INPUT	A	CM

Revision Description



Project:  
**STOULIE SNUGS LUXURY GLAMPING PODS  
HAWICK  
TD9 7NX**

Drawing Title:  
**PROPOSED LAYOUT PLAN**

Drawing Number:  
**200104-1-01**

Revision: **A**  
Date: **23/01/2020**

Scale: **1:100 (UNLESS STATED)**  
Drawn By: **ALISDAIR YOUNG**

CAD Dwg File:  
Arch. Base Dwg:

Issue Status:  
**Full Planning Application**

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Town And Country  
Planning (Scotland) Act  
1997

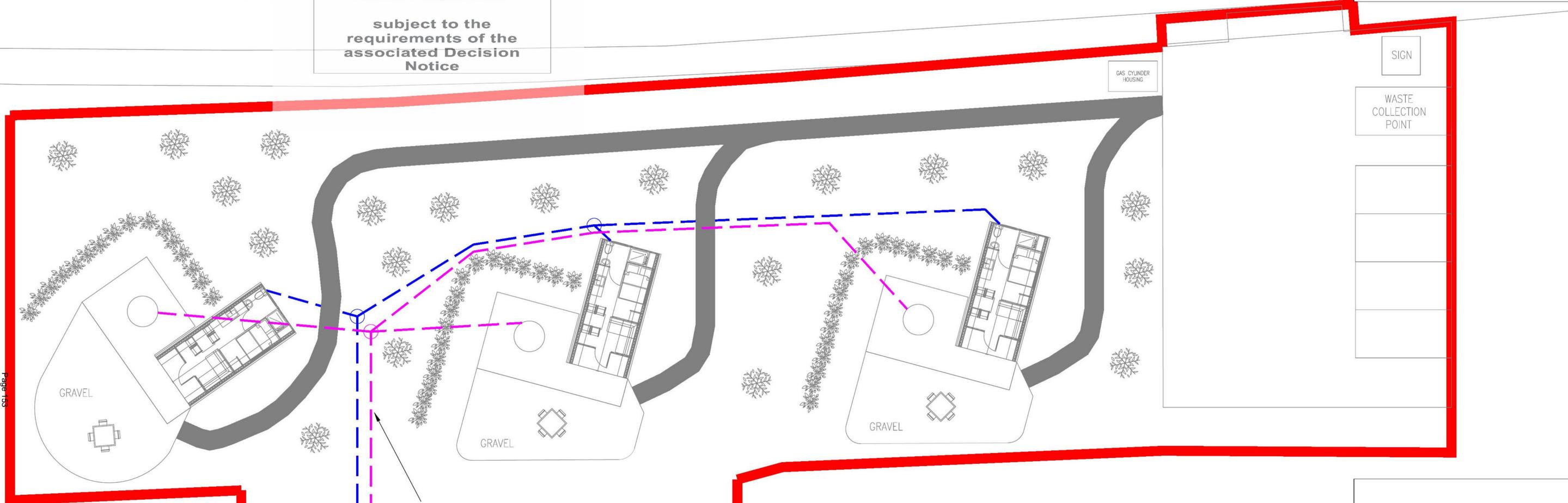
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DRAINAGE LAYOUT (SCALE 1:100)

150mm dia. uPVC PIPEWORK ROUTE THROUGHOUT IN COMPLIANCE WITH BS EN 12056-1:2000

750mm GRP INSPECTION CHAMBER IN COMPLIANCE WITH BS EN 12056-1:2000

12 PERSON TREATMENT PLANT IN LINE WITH WITH ALL SEPA STIPULATIONS AND BS EN 12056-1:2000

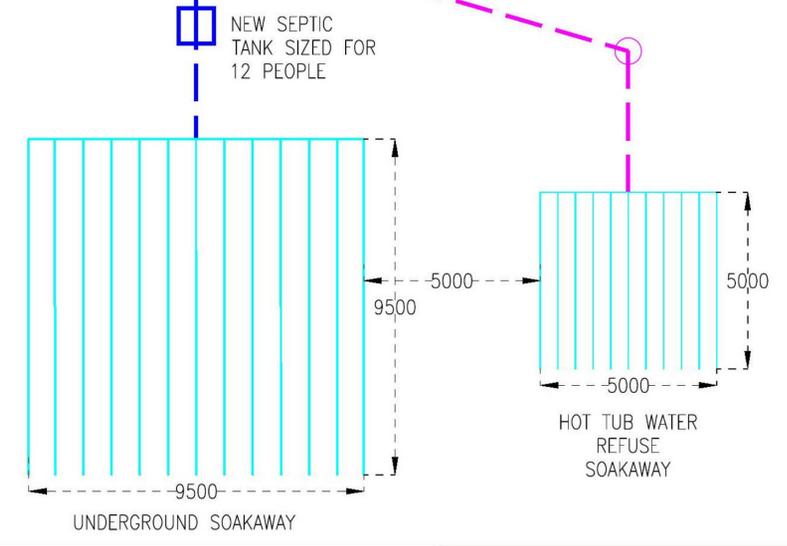
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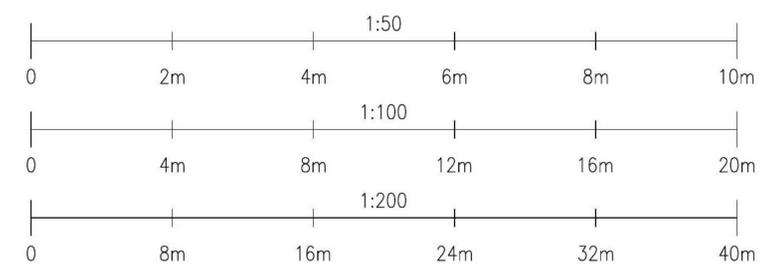
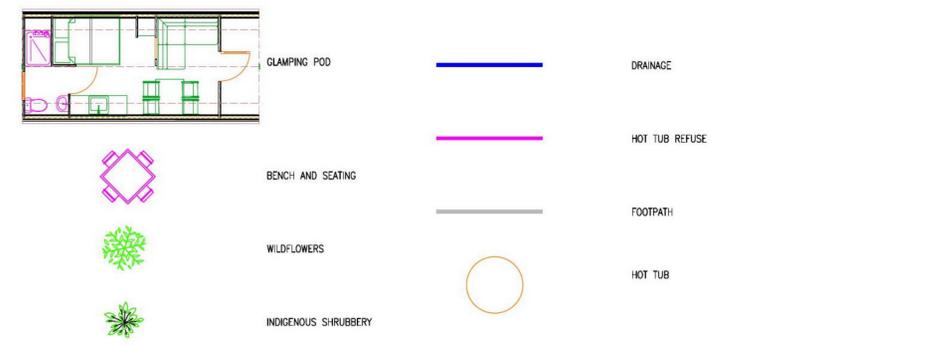
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$AREA = 88.8m^2$

TOTAL SIZE = 9.5m X 9.5m



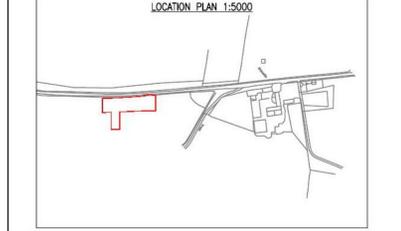
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1. DO NOT SCALE FROM THIS DRAWING  
**KEY TO SYMBOLS**



SCALE BARS

Date	Description	Rev	By
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**Revision Description**



Project:  
**STOULIE SNUGS LUXURY GLAMPING PODS  
HAWICK  
TD9 7NX**

Drawing Title:  
**PROPOSED DRAINAGE PLAN**

Drawing Number:  
**200104-2-01**

Revision:  
Date: 14/03/2020

Scale: 1:100 (UNLESS STATED)  
Drawn By: CALUM MACLEOD

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02.07.2020

NEW ACCESS/EGRESS POINT  
TO SINGLE TRACK ROAD.  
VISIBILITY SPLAY AS DETAILED  
IN 200104-4-01

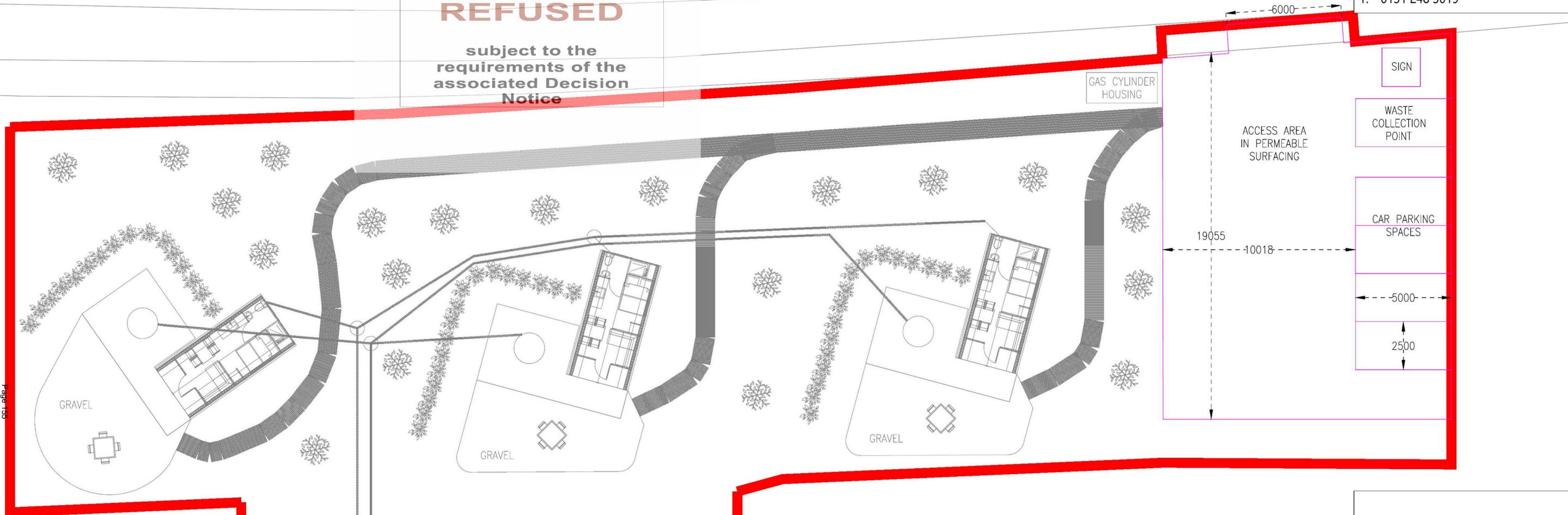
NEW ROAD ACCESS 6m  
WIDE TO ENSURE MINIMAL  
IMPACT TO ROAD

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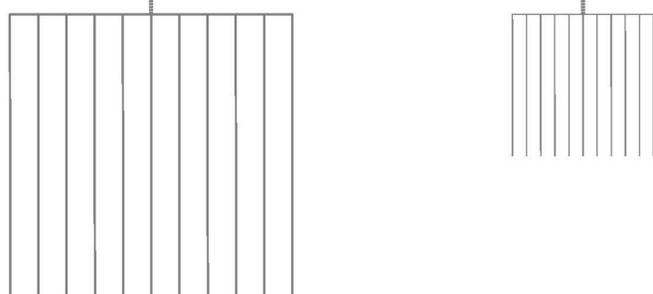
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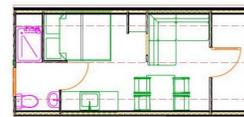
ROAD LAYOUT (SCALE 1:100)



NOTES

1. DO NOT SCALE FROM THIS DRAWING

KEY TO SYMBOLS



GLAMPING POD

DRAINAGE



BENCH AND SEATING

ROAD / PARKING



WILDFLOWERS

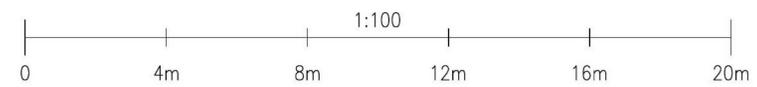
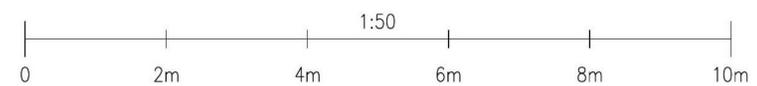
FOOTPATH



INDIGENOUS SHRUBBERY



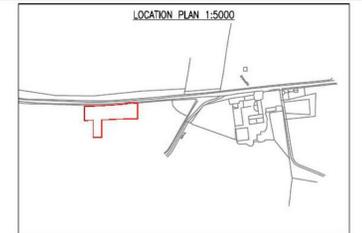
HOT TUB



SCALE BARS

Date	Description	Rev	By
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Revision Description



Project:  
**STOULIE SNUGS LUXURY GLAMPING PODS  
HAWICK  
TD9 7NX**

Drawing Title:  
**PROPOSED ROAD PLAN**

Drawing Number:  
**200104-3-01**

Revision:  
Date: 14/03/2020  
Scale: 1:100 (UNLESS STATED)  
Drawn By: CALUM MACLEOD

CAD Dwg File:  
Arch. Base Dwg:

Issue Status:  
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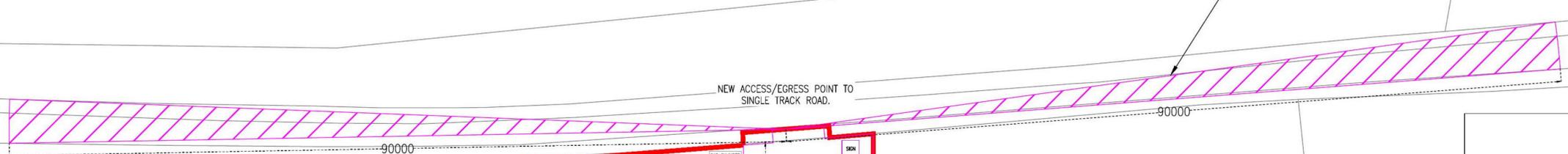
SPLAY TO LEFT/WEST



SPLAY TO RIGHT/EAST

SLIGHT DIP IN ROAD MEANING ROAD SURFACE AT  
OTHER SIDE IS NOT VISIBLE, HOWEVER ANY VEHICLES,  
CYCLISTS, WALKERS ETC WOULD BE VISIBLE

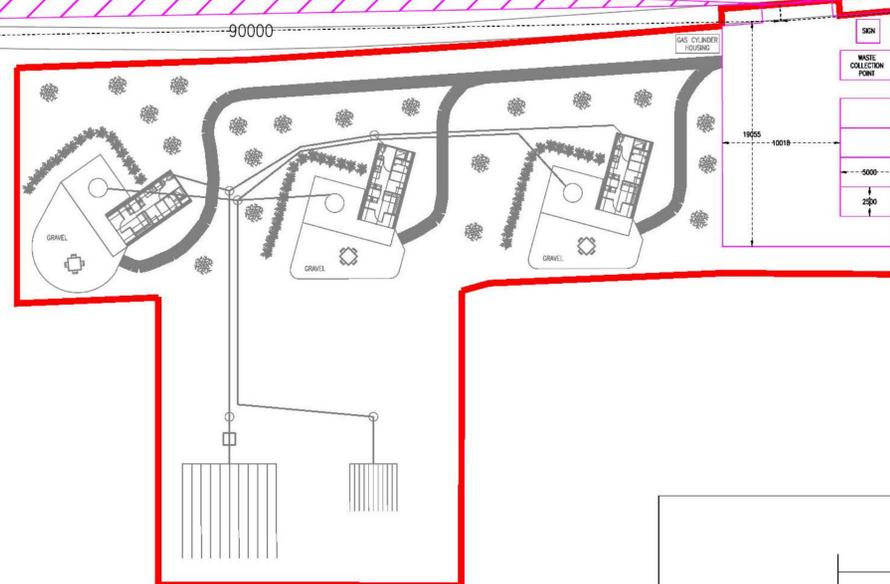
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NEW ACCESS/EGRESS POINT TO  
SINGLE TRACK ROAD.

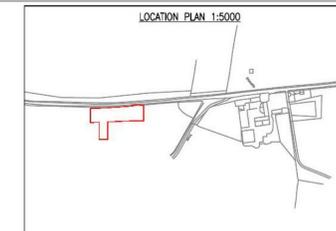
NOTE: ROAD IS SINGLE TRACK WITH  
MAX SPEED OF 20MPH (IF THAT)

VISIBILITY SPLAY (SCALE 1:300)



Date	Description	Rev	By
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Revision Description



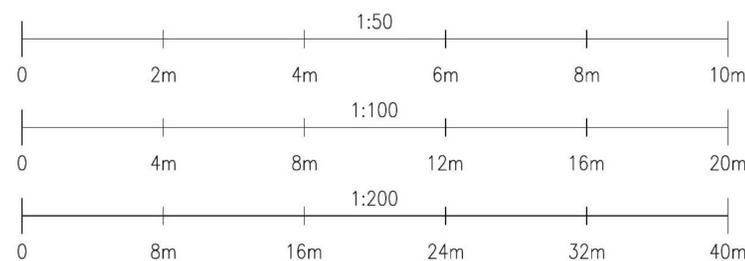
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HAWICK  
TD9 7NX**

Drawing Title:  
**PROPOSED VISIBILITY SPLAY**

Drawing Number:  
**200104-4-01**

Revision:  
Date: 14/03/2020  
Scale: 1:300 (UNLESS STATED)  
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Arch. Base Dwg:

Issue Status:  
**Full Planning Application**



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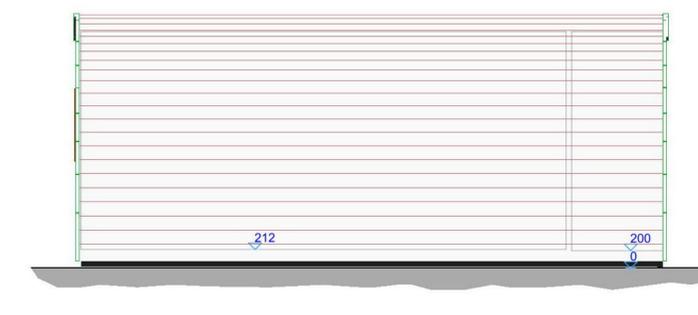
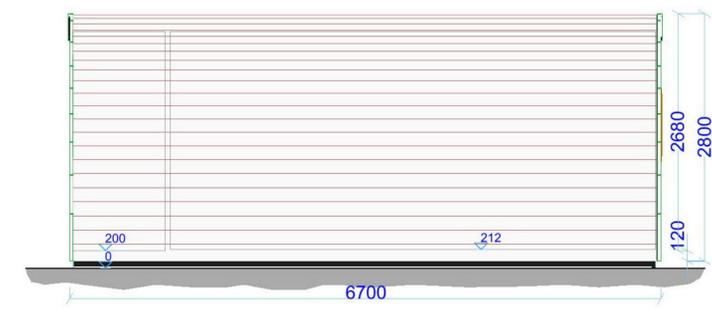
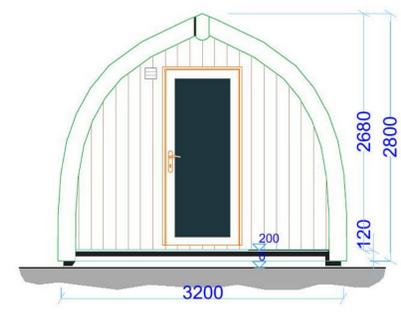
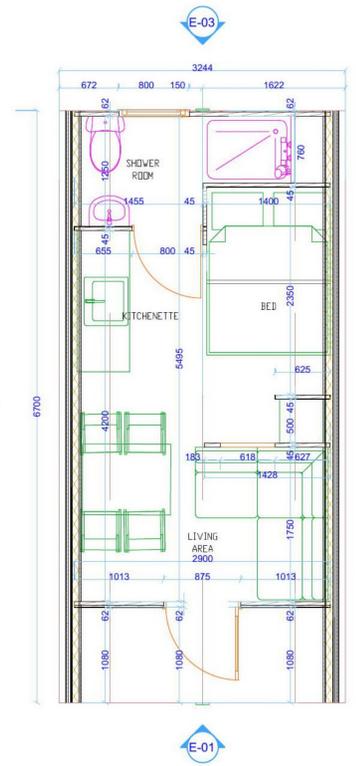
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Date	Description	Rev	By
Revision Description			

Project:  
**STOULIE SNUGS LUXURY GLAMPING PODS  
 HAWICK  
 TD9 7NX**

Drawing Title:  
**PROPOSED GLAMPING PODS LAYOUT**

Drawing Number:  
**200104-9-01**

Revision:  
 Date: 14/03/2020  
 Scale: 1:40  
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 CAD Dwg File:  
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# MARKET RESEARCH STOUSLIE SNUGS

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## Market Research

### Market research to support the development of glamping pods at Stouslie Farm, Hawick, TD9 7NX.

Stouslie Farm lies on the heart of the Scottish Borders, just north of the town of Hawick. The region spans a large area and borders England to the south, the North Sea to the east & several other Scottish council district to the west & north.

No surprise then that such a large area holds numerous tourists attractions, which create a significant economic benefit to the area. The area around Hawick in particular has tranquil countryside ideal for relaxing getaways, yet is ideally placed for touring historic towns, the river Teviot, award winning parks and nearby castles and mansions steeped in centuries of Scottish history.

This report will examine whether current accommodation options local to Stouslie Farm and the surrounding area are sufficient to meet tourist demand. It will also look at tourism trends to suggest if a new glamping site in this area is warranted.

### Borders Tourist Markets

Between 2016 & 2018, tourism brought an average of £124 million to The Scottish Borders [1]. In the same period, just over 1 million nights were spent in Borders accommodation, which was up 3% from the period of 2015 to 2017 [1].

Day visitors to the borders have increased at an even quicker rate (8%). Both trends are very encouraging for the area, but the higher increase of 'day-trippers' also suggests that the existing variety/supply of accommodation options is not enough to tempt more visitors to stay (and spend) longer in the area.

The following sections will break down the main Borders tourist markets and suggest if they are likely to increase or decrease in tourist demand in future.

### Main Tourist Markets

#### Tourists

Be it domestic or international visitor, tourists & sight seers are the main market for Stouslie Snugs.

Between 2018 & 2019 overnight stays in Scotland increased by 12% up to 26.72 million. This is by far the biggest market of those we shall look at. The impressive growth also lends support to the viability of a glamping site at Stouslie Farm.

#### Walking

Walking in Scotland is very popular. While most walkers are drawn to Scotland's large mountains, the borders can also offer great walks. The Borders Abbeys Way [3], Southern Upland Way [2], the Cross Border Trail and their ongoing promotions are helping to reinforce this.

Stouslie Farm is close to most popular borders walking routes and in fact, lies less than 0.5miles away from the Borders Abbeys Way Hawick to Selkirk route. The farm is also close to many other local routes including the 'Calaburn and Drinkstone hill route', which follows part of the journey taken by horse-riders in the tour of the marches during Common riding.

The style of proposed accommodation is ideal for walker's needs. Not only will they be able to relax and soak aching joints in the eco-friendly wood fired hot tubs, but they will also not be required to carry bulky tents & sleeping bags.

As Scotland's population is becoming more active, 'driven by the rise in recreational walking' [4], it seems reasonable to expect demand for accommodation from walkers to increase in the years ahead. Particularly as the Scottish Borders Walking Festival [5] continues to grow each year bringing new and seasoned walkers to the region. A glamping site at Stouslie Farm is well placed to meet increased demand from walkers.

### Fishing

From April to September, Sea Trout fishing is permitted on the Teviot River. Often, fishing on Borders rivers can be an expensive proposition, with large hotels charging guests for use of their private stretches of river bank & use of their Ghillie.

A glamping site near the Teviot would offer a more economical option for those wishing to fish the river. Even in winter months Grayling fishing is a possible & cheap option.

### Castles & Estates

Historic Environment Scotland reported a 5% increase in visitors to their sites in 2018 [6]. Many of these sites are castles & mansions. Hawick is a great starting location to view Bowhill, Abbotsford, & Monteviot houses as well as Floors Castle.

These attractions feature in the map produced to promote 'Big Houses' in the Scottish Borders [7]. This map is available in tourist information centres and online and will aid the continued upward trend of increasing visitor numbers.

Most of the 'Big Houses' host weddings and large receptions. Guests attending such events will likely find Stouslie Snugs high-end glamping to be an enticing accommodation option.

### Cycling

In a similar vein to walking, cycling is a popular pastime in the Borders. Innerleithen has a reputation for downhill mountain biking and are investing to maintain/improve this status [12]. There are also several mountain bike trails [13] and road cycling routes in the borders [14], which are close/go through Hawick.

Again, the possibility of suitable accommodation for cyclists that negate the need to carry tents and sleeping bags will be an alluring prospect.

### Wellness

Visit Scotland reported in 2019, that the wellness tourism is an increasing market, growing from \$563 billion to \$639 billion globally, between 2015 and 2017 [11]. Eco-pods at Stouslie farm fit nicely into this growing trend.

Not only will guests have the opportunity to connect with nature enjoying walks in the countryside and taking in the spectacular views, time spent in the eco-friendly wood fired hot tub will help to relax muscles, remove pain in joints, relieve stress and promote better sleep all of which can only improve your health and wellness.

The tranquil Teviotdale Valley viewed from a wood fired, chemical free hot-tub is a relaxing prospect.

## Golf

The Scottish Borders is a golfer's paradise with internationally renowned courses and magnificent hidden gems where golfers are spending more than £6M on an annual basis [8]. The combination of value for money, stunning countryside, superb courses & uncrowded fairways makes the Borders the ideal choice for golfers. Planning a round or two as part of a short break at Stouslie farm is easily achievable.

Every course has a feature that will remain in your memory forever, whether it is The Stank at Kelso, Everest at Minto, or the panoramic views over the North Sea at Eyemouth. Couple these courses with the golfing jewels of The Roxburghe and Cardrona and it's clear why the Scottish Borders makes a perfect setting for golf.

Stouslie Snugs is only 1hr 30minutes away from both Edinburgh & Newcastle and with Minto and Hawick golf courses on their doorstep it is an ideal base for guests to play in some of the regions' top golf courses. Combine this with Scotland's best-selling golf pass the Freedom of the Fairways offering great value for money, there's no better place to escape from the pressures of modern day life.

Golf is likely not a main market for local accommodation, but certainly a supplementary source of demand.

## Events

The Scottish Borders hosts numerous events staged all throughout the year bringing in a steady influx of tourists to the region. Events include the Reviers festival held in March, Rugby 7s tournaments in spring, the Borders Book festival and Common ridings throughout the summer and the Scottish Borders Walking festival in autumn.

Of course, there are many more events, particularly those hosted at the Borders Event Centre where the best of Scottish Agriculture is showcased at the Borders Union show and the Kelso Ram sale.

Each event promotes the region in all its glory be it history, nature, agriculture, sport, literacy or craft. As more tourists come to enjoy both the event and the area there is a greater demand for additional luxury accommodation. Stouslie Snugs is an ideal base for guests to attend each event as it is in a central borders location but also to relax after a long day out.

## Food and Drink

The Scottish Borders is home to a host of specialist producers creating a wide variety of products. Farmers markets provide the opportunity to enjoy the highest quality food ranging from hand-made confectionery, traditional cheeses and real ale to organic poultry, wild game and the freshest fish. Each weekend a different Borders town takes a turn to host the market. In addition to the farmers markets guests can enjoy the abundance of local restaurants and cafes.

Stouslie Snugs is fortunate to have the 'Borders Distillery' on its doorstep that offers Whiskey and Gin to its customers in the gift shop and tours of the distillery itself. There are also local breweries to enjoy, if beer is your chosen drink 'Born in the Borders' and 'Tempest Brew Co' are both less than 30 minutes away.

With food and drink being one of the second most popular activities [1] to undertake while visiting the Borders, Stouslie Snugs offers a relaxing and luxurious place to stay once you have spent day enjoying the unique produce the region has to offer.

## Tourism Demand Analysis

### Demand in the Borders

Tourism in the Borders appears to be reasonably stable in recent years [1]. We expect tourism, and demand for accommodation to grow in the years ahead. This is due to in part to Brexit effect (more on this later), but also due to promotion and funding by the Borders council by way of their action plan [9], as well as the continued growth & influence of the Scottish Borders Tourism Partnership [10].

To apportion the area around Hawick, which includes Stouslie Farm, a rough share of current Border's tourist trade, we can look at population size. The rationale being that as a town grows, the accommodation options/trade should grow proportionally.

The Border's population was 115,000 in the 2018 [9] and Hawick's population is approx. 13,300 [16] or 11.6% of the Border's population.

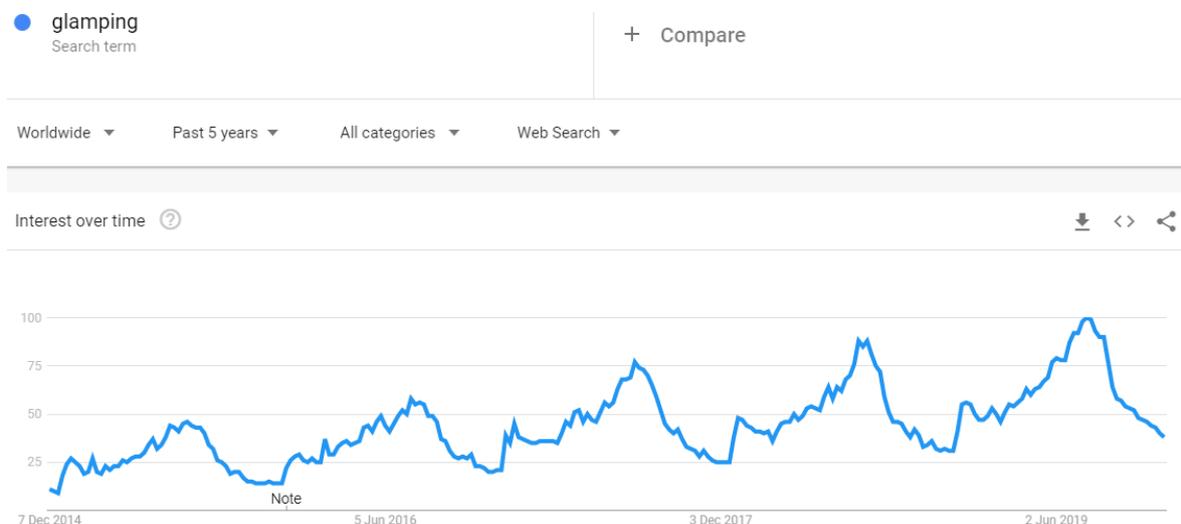
Of the 1,010,000 overnight stays in Borders accommodation annually [1], we can therefore expect 117,160 (11.6 %) visitors per year to seek lodging near to Hawick & Stouslie Farm (or about 320 per night).

This number does not take into account season fluctuation. However it does suggest a large potential market in the area, which is unlikely to be met by existing accommodation options, especially during peak season.

### Glamping Popularity

Each year we witness a cyclical increase in google searches for glamping (as seen below). This trend matches Glampitect's experience of witnessing increasing demand. Interestingly the trend shows increased demand for both peak and off-peak season & shows no sign of decreasing for the time being.

After a search of the surrounding area, there appear to be two glamping options in the area. These are Ruberslaw Safari Tents & Westcote Galmping, which are respectively 5 & 9 miles away from Stouslie Farm by car. Both offer a more basic option than the pods proposed at Stouslie Farm, featuring separate WC facilities and little modern technology. Stouslie snugs will therefore appeal to slightly different clientele, but it is encouraging, to know that there is a proven demand for glamping in the area.



We have seen in other parts of the country that glamping sites are popular even in areas short of tourist attractions, and when close to other glamping options. Glamping has a certain novelty, meaning it is now an attraction in its own right. It also appeals to a wider & separate cross section of the public, so there is little value in trialing a more basic form of camping to prove demand at Stouslie Farm. This can be common practice for fledgling campsites to prevent unwarranted spending on electrical hook-ups & toilet blocks etc. However the existing sites mentioned above provide sufficient evidence of demand for glamping in the area. There are also enough distance & difference between the sites, in terms of style & level of luxury, that a new site at Stouslie Farm could exist, without adversely affecting the others.

### Brexit Uncertainty

Historically, uncertain political times have seen UK based tourists favour 'stay-cations' over foreign holidays. This will likely be the same in 2020 and until consumer confidence returns.

This is tempered by the possibility of fewer tourists arriving from the European Market, due to the same uncertainty. However, domestic tourists using accommodation outnumbered international tourists in the borders by a ratio of about 9:1 between 2016 & 2018 [1], so we view this a potential net benefit.

### Existing Accommodation near Stouslie Farm

Below are a list of accommodation options in Hawick and the surrounding area.

- Several small guest house / B&Bs – Hawick – approx. £80 / night
- Balcary House Hotel - Hawick - £130 / night
- Mansfield House – Hawick - £100 / night
- Riverside Caravan park – Hawick - £11 / night (tents), £30 /night (touring caravans)
- Auld Cross Keys – Denholm - £100 / night

After searching various websites it is clear that local accommodation options include very few luxury offerings. The vast majority tend towards quaint guest house / B&B style and the Balcary House, while certainly luxury is a very traditional style.

By comparison to the choices above, a high-end glamping site would be a completely different proposition to the current options and likely attract a demographic, who at present are not catered for locally. The pods could expect to command upwards of £100 per night. This higher price point should ensure that there is no detrimental effect on existing local accommodation custom.

Accommodating this new demographic, should also see benefits pass through to the local economy. More willing & able to spend, the new demographic will likely patronise local shops, restaurants & bars, thereby creating a win/win for all involved.

The tourist trade in winter is low in the Borders and across Scotland as a whole for that matter. Despite this, we believe there would still be sufficient demand for glamping pods at Stouslie Farm. This is based upon, the increasing trend of glamping's popularity in winter, year round fishing on the Teviot, the tranquil location that is ideal to attract short break visitors from Edinburgh & Newcastle, and also the proximity to Hawick's shops, restaurants and bars.

## Summary

Tourism in the UK and Scottish borders is expected to increase in the years ahead. This should also mean increased demand for tourist attractions and accommodation close to Stouslie Farm. Coupled to the ever increasing demand for glamping, the construction of the proposed glamping site is therefore justifiable.

Should the popularity of glamping continue to increase as expected, new visitors would be drawn to the area, simply by means of offering a high-end glamping accommodation option.

Glamping pods at will also promote and benefit the wider community by attracting more tourists to the borders; contributing to the sustainability of local services, producers, crafters, events and attractions as well as a direct capital investment during construction. Please see the business plan for full details on how Stouslie Snugs will invest in the local economy.

As a whole, we believe a new high-quality accommodation option will be beneficial to this part of the Scottish Borders. We expect it will attract clientele with higher disposable income, more likely to spend larger sums of money in the local area. The additional business generated by the site for the local economy makes this site a fantastic proposition for everyone involved.

## References

- [1] Scottish Borders Factsheet 2018 (published 2019)  
<https://www.visitscotland.org/binaries/content/assets/dot-org/pdf/research-papers-2/regional-factsheets/scottish-borders-factsheet-2018.pdf>
- [2] Southern Upland Way Website - <https://www.southernuplandway.gov.uk/route/>
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- [5] Borders Walking Festival - <http://www.borderswalking.com>
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- [7] Border Big House Map - <http://www.bowhillhouse.co.uk/wp-content/uploads/2017/05/BIG-HOUSES-IN-THE-BORDERS-MAP-full-leaflet.pdf>
- [8] Golf Survey 2016 - <https://www.visitscotland.org/binaries/content/assets/dot-org/pdf/research-papers/golf-south-scotland-2016.pdf>
- [9] Borders Tourism Action Plan example -  
<https://scottishborders.moderngov.co.uk/documents/s38770/Item%20No.%206%20-%20South%20of%20Scotland%20Tourism%20Action%20Plan%20-%20Executive%20-%202017%20September%202019%20-%20Draft.pdf>
- [10] Scottish Borders Tourism Partnership - <http://www.scottishborderstourismpartnership.co.uk/>
- [11] Visit Scotland Insights 2019 – Wellness - <https://www.visitscotland.org/binaries/content/assets/dot-org/pdf/research-papers/insights-trends-2019.pdf>
- [12] Innerleithen - <https://www.thesouthernreporter.co.uk/news/innerleithen-mountain-bike-centre-plans-about-move-gear-156797>
- [13] Borders trail bikes - <https://www.trailbrakes.co.uk/mtb-holidays/cross-border-trail-kielder-edinburgh>
- [14] Borders cycling - <https://cyclescottishborders.com/plan-your-visit/routes>
- [15] Teviot Fishing - <https://www.trout-salmon-fishing.com/scotland-river-teviot.htm>
- [16] Hawick Population - [https://www.scotborders.gov.uk/download/downloads/id/2990/ward\\_10\\_-\\_hawick\\_and\\_denholm.pdf.pdf](https://www.scotborders.gov.uk/download/downloads/id/2990/ward_10_-_hawick_and_denholm.pdf.pdf)

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# SITE SELECTION REPORT STOUSLIE SNUGS

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## Purpose

The purpose of this report is to analyse the potential sites across Stouslie farm that could be used in the farm diversification project for short term holiday accommodation.

## Stouslie Farm

Stouslie is a small upland livestock farm of 155 acres including grassland, woodland areas and a pond.

The farm house is located within the farm yard where there are several purpose-built livestock sheds used to house the cattle and sheep during the winter months. These are vital for the operation of the farm and are not suitable for any type of conversion.

## Site selection requirements

In order to establish the best location on the farm for diversification the site must ensure that it meets the following criteria:

- Can the site provide an appropriate level of **guest safety**?
- Can the site ensure there is **no disruption to farm operations**?
- Will the site provide a reduced need for major **construction work**?
- Does the site **reduce the need for land development**?
- Does the site have a **minimal impact to the environment and landscape context**?
- Can the site cater for the **installation of utilities**?
- Can the site provide **safe and fit for purpose road access**?
- Does the site provide **an adequate drainage system** in accordance with SEPA guidance?
- Will the site **appeal to customers** and increase **marketability**?

## Site Analysis

Within this section of the report we will analyse 4 different sites across Stouslie farm against the site selection criteria. These sites have been chosen as they are all within close proximity to the farmhouse.

To assist with the analysis all 4 sites have been marked up on the farm map included in Appendix A. Please note this map is not to scale and is intended to provide a guide to site location only.

### Site 1 : Stone Building located within the farm yard

Contained within the farm yard there is a dyke stone building that measures approximately 21m by 6m. This building could be restored into a barn conversion which would provide relative ease for the installation of utilities. Please see Appendix A - marked orange on the map.

That being said, it would not be our chosen location to diversify into holiday accommodation firstly because it is a functional building used on the farm to securely store fuel, animal feed, farm machinery (i.e. atv bike) and livestock during lambing time. If this building were to be converted into a holiday let an additional shed space would need to be constructed to carry out these farm functions leaving any gains to be had in a reduced need for land development negligible. A new shed space would also have an impact on the environment and would not blend into the landscape.

The building itself is located in heart of the busy farm yard where it would present significant difficulties to ensure guest safety. Large machinery including tractors and a telehandler are in use on a daily basis to feed and bed the surrounding sheds. Equally livestock present their own dangers to the general public. A holiday let in this location would cause significant disruption to operation of the farm.

Construction would also present many difficulties including changes to the road access, disruption to farm operations and installation of a drainage system.

The ability to provide a peaceful and relaxing getaway would be close to impossible as the noise, smell and muck and from the farm combined with the inability to provide a green space i.e. a garden, views across the countryside or parking would be unappealing to almost all customers.

We also believe there isn't the same market for a barn conversion as self-catering holiday cottages where guests tend to stay on a weekly basis are in abundance across the Scottish borders.

## Site 2 : Plot West of Stouslie farm (Proposed and preferred site)

West of Stouslie farm there is a plot of land that could potentially be used for the development of the proposed Glamping site. It is approximately 175m from the farm house. Please see Appendix A - marked in red. It should be noted that this is the preferred location for development.

The only drawback to this site is the same issue that is common across all 4 sites whereby some land development will be required.

The location of this site is far enough away from the farmyard and runs parallel with the main unnamed road that it will not cause any disruption to the farm operations nor will it present any guest safety issues. The road access will consist of the removal of a small section of dyke wall approximately 6m in total to provide a safe and fit for purpose access point into the site. Please see splay drawing and site plan.

Construction will also be far less onerous as the site lies on a natural level plateau approximately 20m wide from the road before the downhill gradient (banking) into the field. Therefore, groundwork will be focused primarily on the drainage system (soakaways) and trenching only. There is a farm track that runs east of the site that will be used as the main access point for diggers therefore preventing the need to remove a large section of dyke wall.

Installation of utilities would not present an issue as electricity will be run underground from the nearest fuse box in the farmyard through the field to the site and water will run naturally given the lie of the land without the need for a water pump. The percolation test provides evidence that this site will accommodate an adequate drainage system approved by SEPA.

From a customer appeal perspective, this site will provide a peaceful and relaxing stay without interruptions from daily farm operation. It will provide a green space and beautiful view down the Teviotdale valley to enjoy and connect with nature with enough room to add a hot tub to make their stay even more luxurious.

Glamping pods in general are designed to fit in with the countryside as they are handmade from wood and compact in size meaning there would be a reduced impact on the environment and landscape context. As this site is backed by trees, hedges and a dyke stone wall the glamping pods will easily blend into the landscape and be sheltered from adverse weather.

## Site 3 : Plot South of Stouslie farm

South of Stouslie farm there is another plot of land that could potentially be used for the development of the proposed Glamping site. It is approximately 75m from the farmyard. Please see Appendix A - marked yellow on the map.

This site is similar in some ways to our preferred site (2) as it can provide a green space and a beautiful view that would appeal to our customers. The installation of utilities would also be the same but with less distance to travel. As previously noted, Glamping pods in general are designed to fit in with the countryside as they are made from wood and compact in size meaning there would be a reduced impact on the environment and landscape context. However, as this location is in an open field there is little in the way of other vegetation or trees to either shelter or blend the pods into the context of the landscape.

This site comes with its own problems. Firstly, the site is very near to the main access point to all fields south of the farm causing issues in guest safety and disruption to the farm operations. Tractors pulling trailers and other heavy machinery use this access point on a daily basis. Livestock are also brought up through this area when they are moved to a different field. A Glamping site in this location would cause unnecessary disruption to the farm management and guests would not be able to enjoy a peaceful and relaxing environment.

The site itself would cause a series of construction issues as it lies on a downhill gradient and would therefore require significant groundwork to level and build up the site. Drainage would also be difficult to accommodate due to the lie of the land and lack of space to build appropriately sized soakaways where there is heavy farm traffic.

Most notably this site does not have any road access. The farm track in its current form (uneven dirt track) would not be suitable for use therefore the construction of a new road would be required. This would also impact upon road safety as the access point on the unnamed road that runs through Stouslie farm has a clear lack of visibility from the west.

As with all 4 sites land development will be required.

#### Site 4 : Plot East of Stouslie farm

East of Stouslie farm there is another plot of land that could potentially be used for the development of the proposed Glamping site. It is approximately 175m from the farmyard. Please see Appendix A - marked blue on the map.

Again, this site is similar in some ways to our preferred site (2) as the location of this site is far enough away from the farmyard and runs parallel with the main unnamed road that it will not cause any guest safety issues and only minimal disruption to the farm operations during construction.

The site itself sits on the brow of a hill unlike the preferred site (2) it does not have a naturally level plateau therefore significantly more groundwork will be required to level the site out. During construction, a larger section of the dyke wall will need to be removed in order for diggers to gain access as there is no farm track that can be utilised in this instance. This will potentially cause both farm disruption and delays for the public using the unnamed road. Ultimately the dyke stone wall would be rebuilt leaving a safe and fit for purpose access point of approximately 6m into the site.

The installation of utilities would also present numerous difficulties. As this site is at a high point on the farm, water will not run naturally and will require a pump. At the foot of the hill the land is very wet and boggy causing drainage issues as well as an added risk of pollution to the pond area from the soakaway which SEPA would most likely object to. Electricity would be similar to site (2) however cables will need to run underground through part of the farmyard from a different fuse box closer to the site. Again, this would cause disruption to farm operations during the construction.

As previously stated, Glamping pods in general are designed to fit in with the countryside as they are made from wood and compact in size meaning there would be a reduced impact on the environment and landscape context. However, this location is in an open stretch of land where there is no other vegetation or trees to either shelter or blend the pods into the context of the landscape. It is also very exposed to the weather in every direction and suffers badly from snow drifting which would be hazardous to guests.

This site offers a green space for customers to enjoy a peaceful stay with a view of the field, woodland area and pond in front. The width of the site from the road is less compared to the preferred site (2) due to the way the land lies. This means the pods would need to be sited closer to the road resulting in reduced privacy for guests.

As with all 4 sites land development will be required.

## Summary

In conclusion, it is clear to see why site 2 is the preferred location for diversification as it meets all but one of the site selection criteria. This particular requirement is consistent across all four sites where some land development will need to take place.

The topography of this particular field is a little unusual in that a strip of approx. 20m from the road has a higher elevation than the rest of the field. This creates a natural plateau which results in a reduced need for groundwork construction, gravity drainage from the pods to the private drainage system and provides a beautiful view of rolling hills down Teviotdale valley which are both extremely appealing to guests staying at the pods and the owners from a marketing viewpoint.

The existing trees, hedges and dyke stone wall will both shelter and help blend the pods into the context of the landscape. We will also plant hedge around the decking area to provide a natural privacy wall for each pod and plant wild flowers on the banking in front of the pods to encourage and create a new habitat for insects and wildlife as well as enhancing the natural beauty of the environment with rich colours.

The proposed site is also a generous distance from the nearest neighbouring property. As glamping customers tend to be more focused on relaxation than rowdiness, this location is very unlikely to have any negative impact to neighbours.

Glamping accommodation is an on trend, different and quirky type of accommodation which the Scottish Borders is lacking. Coupled with added luxuries like a hot tub it can act as an attraction to the area in itself.

## Appendix 1 - Map

Please note this map is not to scale and is only to be used as a guide to each site location.



### Key

	Orange circle	Site 1
	Red circle	Site 2
	Yellow circle	Site 3
	Blue circle	Site 4

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## Percolation test results

<b>Name</b>	Stewart and Carly Anderson
<b>Location</b>	Stouslie Farm, Hawick, Scottish Borders, TD9 7NX
<b>Carried out by</b>	Jackie Johnston Ltd
<b>Date</b>	4th March 2020

### Soil description/Ground profile

<b>Soil Type</b>	<b>Depth</b>
Top soil	458 mm
Sub soil	275 mm
Shally	680 mm
Sandstone type that breaks up with digger	1 metre +

### Percolation Test Data

<b>Hole</b>	<b>Time taken to drain</b>		
	<b>2nd March 2020 (Hour:Minutes)</b>	<b>3rd March 2020 (Hour:Minutes)</b>	<b>4th March 2020 (Hour:Minutes)</b>
1	1:02	1:08	1:07
2	1:15	1:17	1:21
3	1:19	1:24	1:22
<b>Average</b>	72 minutes	76 minutes	76 minutes

### Percolation Test Calculation for Soakaway

For septic tanks:

$V \times P \times 0.25 = \text{Area (A) in squared metres}$

V = the time in seconds for the water in the test hole to drop by 1mm

P = the max. number of persons that the unit is designed to serve

**Calculation:**

$29.6 \times 12 \times 0.25 = 88.8 \text{ metres squared}$

### Recommendation

It is recommended that 98.6 metres of trench at 0.9 wide should be constructed as the soakaway along the foot of the banking down from the Glamping pod site.

## Water capacity test results

Date: 9th March 2020

Stouslie private water supply is fed by a spring that produces **450 litres per hour** and **10,800 litres per day**.

According to the Energy saving trust the average household uses 349 litres per day. Currently there are 3 households (including one holiday let) using this supply.

Should the Glamping pods be approved this supply has almost double the required water capacity to service all current households plus 3 Glamping pods with hot tubs. Each hot tub holds 1200 litres and would not be filled more than once per day.

### Calculation:

Current 3 households	$349 \times 3 = 1,047$
Additional 3 Glamping pods	$349 \times 3 = 1,047$
3 hot tubs filled on once per day	$1200 \times 3 = 3,600$
<b>Total maximum daily capacity required</b>	<b>5,694 litres</b>



**Water supply description and route:**

Water is sourced from a spring on Tandlaw (blue circle on map). It is piped from source into two plastic header tanks that hold 2500l combined, this then feeds the pump tank which holds approx 1000l and is situated beside the header tanks (green circle on map). Water is pumped from the pump tank into a brick built storage tank which holds approx 5000l and is located directly behind Stouslie farm house (orange circle on map). This tank is operated by a float switch system that is connected to the pump tank. Water flows from this tank through a gravel filled honeycomb filter system into another brick built tank directly below it where it is fed directly into the farm house.

We propose to fit a T-piece onto the pipe before it connects to the farm house then pipe a direct line to the Glamping pods. We will fit a UV filter to the water connection entering each pod to ensure safe water quality.

**Key:**

Symbol	Description
	Water source
	Water route
	Header and pump tanks
	Farmhouse tank
	Proposed water route for Glamping pods
	Glamping pod site

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# *Soft Landscaping Proposal*

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*Created by Carly Anderson  
Date: 2<sup>nd</sup> June 2020*

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## Purpose

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The purpose of this proposal is to detail the soft landscaping proposal for the Glamping site at Stouslie Farm, Hawick. This report has considered all recommendations provided by the Landscape architect from the Scottish Borders council planning department.

This document should be used together with both the **3D visuals and Landscape Layout Drawing** which have been uploaded separately.

## Planning Department Recommendation

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The Landscape Architect from the Scottish Borders council commented...

*"The development of three pods in this rural location will have a modest level of visual intrusion, given the remote location and limit number of roads or locations where it will be visible from. While there is a hedge and roadside trees to the north forming a backdrop to the site, I consider that some more robust planting proposals would better settle the pods into the immediate landscape, including a hedge along the inside of the drystone wall and some tree planting to create a degree of separation between the pods as well as providing some shelter and privacy at this elevated location. This would help the proposal to be assimilated into the wider landscape.*

*A more comprehensive planting scheme using, as far as possible, native species such as a mixed native hedge and a native tree mix should be a condition of consent. The entrance detail should be as low-key as possible to fit with the existing character of the immediate farmed landscape."*

It was also noted from the Planning Officer assigned to our application that:

*Any site landscaping would take a considerable period of time (possibly 10 -15 years) to mature to help to screen and assimilate the development into the landscape.*

## Existing Landscape

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The proposed glamping pod site is currently situated along the north side of a grazed field where there are currently no trees, hedges or shrubs. A drystone wall runs the length of the north side of the field. Stouslie Schoolhouse and stables are situated on the west side of the field and a mixed native hedge is planted along the south and east side of the field.

The entrance to the site will be constructed by removing a 6m section of the drystone wall onto the unnamed public road. The opposing side of the road is lined with Beech trees and green Beech hedging. This provides the site with a beautiful backdrop and shelter instead of an open landscape.

Please see **Appendix A** - Existing Landscape photograph

## New Landscape Proposal

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In conjunction with the recommendations set out by the Landscape Architect we consulted with a local Forestry contractor to examine the site and advise upon the best native trees and hedging to be used in the development of the Glamping site. Please see the **Landscape Layout Drawing** detailing the location of all new plantings and **3D visuals** created to provide a scaled illustration of what the landscaping and site will look like upon planting.

As an extension to the existing landscape we propose to plant a native Green Beech hedge 4 metres from the inside of the drystone wall. This will run the length of the site and continue down the length of each pod therefore creating three individual garden areas and a degree of separation between all pods. This hedge will also be planted along the bottom of the car park area to conceal parked cars.

When purchased the bare rooted Beech plants will already be 3 years old with a height of between 1 to 1.25m. A double staggered planting design will be used in order to create a dense hedge providing a windbreak and privacy to the site. A basic fence will be erected either side of the Beech hedge with rabbit netting to prevent destruction of the hedge. Please see 'Tree/Hedge Analysis' for a further details and estimated growth rates of all plantings.

The gap between the drystone wall and the hedge will become a path and will be laid with stone chippings with a small gate breaking the hedge line into the entrance of each pod. Small native garden flowers will also be planted along the edge of the drystone wall. During our on-site consultation with our local Forestry contractor it was recommended that the Beech hedge should be planted at least 3 metres off the drystone wall as the roots of the hedge would most likely, over time, damage the structure of the wall and make the maintenance of both the wall and hedge more difficult in the future.

There will be mix of native trees planted including

- 3 Rowan trees along the hedge line partitioning each pod.
- 2 Hazel trees and 1 Wild Cherry tree along the hedge line bordering the south side of the car park.
- 1 Hazel tree and 1 Wild Cherry tree at the end of the hedge line running in parallel with the drystone wall.

Upon planting, all root ball trees will already be at least 1.5 metres in height for the Hazel and between 2.5 to 4 metres tall for the Rowan and Wild Cherry. Please see **Appendix B** to see the size of trees upon planting and **3D visual** for a scaled illustration of trees when planted on comparison to the Glamping pod. In most cases, the trees will already be taller than the Glamping pod which is 2.6 metres in height. They will provide shelter, privacy and help to assimilate the pods into the wider landscape.

Surrounding the left hand side and back of the decking where the hot tub will be situated we intend to plant a native living willow hedge. This comes in the form of a living willow

panel at 2 metres in height creating an immediate screen and a fully height matured instant hedge within months of planting. Please see **Appendix C** for Living Willow case example.

Along the top of the banking and in front of the pods daffodils will be planted together with other flowers in the garden area.

Albeit out of scope of the planning approval we have decided to fence off the banking area in front of the pods from grazing cattle to create a new herb rich habitat for local wildlife and insects by planting native wild flowers. We also intend to extend the hedge line along the south of the car park across to the entrance of the field and plant other trees including native Purple Beech to add contrast to the existing Green Beech trees, Silver Birch and Hazel. We have included this to help build context to what the landscape will look like once completed.

During the development of this landscape proposal we have tried our best to accommodate every recommendation set out by the council by:

- planting mixed native trees, hedges and shrubs that will blend into the current landscape but will also enhance the natural environment.
- planting a native Green Beech hedge along the length of the site 4 metres from the inside of the drystone wall.
- planting a native Green Beech hedge and native trees down the length of each pod creating privacy, shelter in the form of a wind break and a degree of separation between all pods
- using plants that are already fairly mature in order to create an instant impact without the need to wait 10-15 years for the development. In this case, the living willow hedge will already be at full maturity within 4 months of planting. The Beech hedge will already be 3 years old and based on estimated growth rates will be at full height within 3/4 years and by planting trees that are already 2.5 metres or greater in height they will be taller than the overall height of the actual pods within only a couple of years. We can therefore assimilate and settle the pods into the wider landscape much quicker and in some cases instantly.

We hope that this proposal is deemed suitable and want to work closely with the council to put forward the best landscape design possible. All suggestions for improvement are more than welcome.

## Tree and Plant Analysis

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This section provides a thorough analysis of all proposed planting including:

- Type
- Description
- Benefits to environment, wildlife and insects
- Estimated Growth rate
- Planting Density

Information gathered to complete this section was compiled through our onsite consultation with the local Forestry contractor, discussions with Cheviot Trees Nursery and online research using websites such as the Woodland Trust and Royal Horticultural Society. Please see **Appendix D** for a detailed list of all researched online source material.

### 1. Green Beech Hedge

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#### **Description**

The Green Beech hedge is also known as *Fagus Sylvatica* and is a popular native British Hedge. It has green glossy leaves in spring and summer with very small flowers that usually remain unseen due to the size of the leaves. Despite being deciduous the leaves remain on the hedge turning this into a beautiful copper and brown hedge during the winter.



#### **Benefits**

- Green Beech forms a dense barrier that is great for soundproofing and shelter in the form of a windbreak
- Green Beech is already established behind the site along the other side of the road. by continuing the use of this hedge type it will blend into the wider landscape with ease.
- Easy to maintain
- Fast growing - average growth rate of 40cm per year
- It provides shelter throughout the year and a rich food source for local wildlife when very small nuts ripen in the autumn
- Although deciduous it retains its leaves all year round

#### **Estimated Growth Rate**

It is widely detailed that the Green Beech is a fast growing hedge with an average growth rate of 40 cm per year.

A 3 year old bare rooted hedge will be planted having already achieved a height of between 1m to 1.2m. We do not anticipate this hedge to achieve its full average growth rate in the first year as it will take time to establish in a new environment. That being said it will still grow therefore we have reflected this in the estimated growth table below. It should also be noted that other factors such as the weather will also have an impact upon the growth rate achieved by the hedge once planted.

<b>Year</b>	<b>Height at start of year</b>	<b>Estimated growth rate</b>	<b>Height of plant at the end of the year</b>
Year 1 (first planted)	1m to 1.2m	20 cm	1.2m to 1.4m
Year 2	1.2m to 1.4m	40 cm	1.6m to 1.8m
Year 3	1.6m to 1.8m	40 cm	2m to 2.2m
Year 4	2m to 2.2m	40 cm	2.4m to 2.6m

Should the optimal growth rate be achieved by the end of year 3 we would prefer to cut the hedge back to 1.8m (6ft). As the pods are only 2.6m in height we feel this height would provide an appropriate level of cover to both shelter and assimilate the pods into the landscape.

#### **Planting Density**

A double staggered planting design will be used to create a dense hedge therefore 5 plants per 1 metre will be planted.

## 2. Living Willow Hedge

---

### **Description**

Native Living Willow is also known as *Salix*. It is one of nature's colourful and adaptable building materials. A Living Willow hedge or fedge is supplied in pre assembled sections for easy planting and creates an instant hedge. Please see **Appendix C** for a Living willow hedge case example.

### **Benefits**

- Instant impact upon the landscape as hedge will be installed at full height of 2m
- Creates a privacy screen
- Creates shelter in the form of a windbreak
- Fast growing up to 2m per year. Cuttings taken to maintain the hedge will used elsewhere on the farm in order to create windbreaks in other fields further enhancing the wider landscape of the area.
- Provides food and shelter for birds and insects

### **Estimated Growth Rate**

The living willow will be installed at a height of 2 metres. From planting we will need to trim back this hedge during summer and winter in order to keep its shape and structure due to the rate at which it grows. The hedge will have a fully established rooting system within 2 years.

### **Planting Density**

Living Willow panels are bought preassembled at 2m in height and 1m long. A total of 12 panels will be required for each pod and 36 panels in total.

### 3. Rowan Tree

---

#### Description

The Rowan Tree also known as *Sorbus Aucuparia* is a native Scottish tree. Mature trees can grow up to 15m tall. It has delicate green leaves bearing white clusters of creamy white flowers in the spring providing pollen and nectar for bees and other pollinating insects. In autumn bright red berries develop providing a rich source of food for birds.



#### Benefits

- Bought at a minimum of 2.5 metres this tree will already be of equal height or taller than the glamping pod. It will therefore help to blend the pods into the surrounding landscape.
- Displays beautiful colours throughout the year enhancing the existing landscape.
- Flowers and berries provide a rich food source for bees, insects and birds.
- Provides shelter for both the pods and local wildlife in the area.

#### Estimated Growth Rate

As with all trees they will of course take years in which to fully mature to their full potential height. That being said, as the tree will be planted at a minimum of 2.5m in height it will have an immediate impact upon the landscape. The Rowan tree will grow at an average rate of 30 cm (1 ft) per year. We do not anticipate this tree to achieve its full average growth rate in the first year as it will take time to establish in a new environment. It should also be noted that other factors such as the weather will also have an impact upon the growth rate achieved by the hedge once planted.

Year	Height at start of year	Estimated growth rate	Height of plant at the end of the year
Year 1 (First planted)	2.5m	10 cm	2.6m
Year 2	2.6m	30 cm	2.9m
Year 3	2.9m	30 cm	3.2m
Year 4	3.2m	30 cm	3.5m

#### Planting Density

In total there will be 3x Rowan trees planted, 1x Rowan tree down each hedge partition.

## 4. Wild Cherry Tree

---

### Description

The Wild Cherry tree also known as *Prunus avium* is deemed to be the prettiest native British tree. Mature trees can grow up to 18m tall. It has oval green toothed leaves that fade into a deep orange in autumn. Beautiful white flowers are develop in spring that soon turn into deep red cherries after pollination by insects.



### Benefits

- Bought at a minimum of 2.5 metres this tree will already be of equal height or taller than the height of the Glamping pod. It will therefore help to blend the pods into the surrounding landscape.
- Displays beautiful colours all throughout the year enhancing the existing landscape.
- Flowers and cherries provide a rich food source for bees, insects, birds as well as other mammals such as badgers.
- Provides shelter local wildlife.

### Estimated Growth Rate

As with all trees they will of course take years in which to fully mature to their full potential height. That being said, as this tree will be planted at a minimum height of 2.5m it will have an immediate impact upon the landscape. The Wild Cherry tree will grow at an average rate of 50 cm (1.75 ft) per year. We do not anticipate this tree to achieve its full average growth rate in the first year as it will take time to establish itself in a new environment. It should also be noted that other factors such as the weather will also have an impact upon the growth rate achieved by the hedge once planted.

Year	Height at start of year	Estimated growth rate	Height of plant at the end of the year
Year 1 (First planted)	2.5m	20 cm	2.7m
Year 2	2.7m	50 cm	3.2m
Year 3	3.2m	50 cm	3.7m
Year 4	3.7m	50 cm	4.2m

### Planting Density

In total there will be 2x Wild Cherry trees planted. One along the hedge line bordering the car park and the other at the end of the site and hedge line running parallel with the drystone wall.

## 5. Hazel Tree

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### Description

The Hazel tree also known as *Corylus avellana* and is a native Scottish tree. Mature trees can grow up to 12m tall however they can also be maintained to act as a shrub. It has small green oval shaped leaves that turn yellow in autumn before falling off. Yellow catkin flowers are produced from mid February and hazelnuts begin to fruit in late autumn.



### Benefits

- Bought at 1.5 to 2 metres in height this tree will have an immediate impact upon the landscape.
- Displays beautiful colours all throughout the year enhancing the existing landscape.
- Catkin flowers and hazelnuts provide a rich food source and shelter for bees, insects, birds as well as other mammals such as squirrels and voles.
- It will conceal the car park area from view and help to assimilate the proposed development into the wider landscape.

### Estimated Growth Rate

As with all trees they will of course take years in which to fully mature to their full potential height. The Hazel tree will grow at an average rate of 30-60 cm per year. We do not anticipate it to achieve its full average growth rate in the first year as it will take time to establish in a new environment. It should also be noted that other factors such as the weather will also have an impact upon the growth rate achieved by the hedge once planted.

Year	Height at start of year	Estimated growth rate	Height of plant at the end of the year
Year 1 (First planted)	1.5m	20 cm	1.7m
Year 2	1.7m	40 cm	2.1m
Year 3	2.1m	40 cm	2.5m
Year 4	2.5m	40 cm	2.9m

### Planting Density

In total there will be 3x Hazel trees planted. 2x Hazel tree will be planted along the hedge line at the bottom of the car park and 1x hazel tree will be planted at the end of the hedge line running parallel with the drystone wall.

## Schedule of Trees and Plants Summary

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Please see below a summarised breakdown of all trees, hedges and shrubs that will be planted including numbers required and planting density.

Species	Plant height when purchased	Number of plants	Planting density
Green Beech Hedge	1m to 1.2m	500 approx	5 plants per metre
Living Willow Hedge	2m panel	36 x 1 metre panels	n/a
Rowan Tree	2.5m	3	n/a
Wild Cherry Tree	2.5m	2	n/a
Hazel Tree	1.5m	3	n/a

## Programme for completion

---

After the groundwork has been completed landscaping will begin. We will source all hedges, trees and plants locally. Our local Forestry contractor will be employed to complete the planting.

### **Beech Hedge**

A trench will be dug at 30cm deep and 60cm wide. A double staggered row design will be utilised in order to create a thick hedge at a density of 5 plants per metre. Rows will be planted 40cm apart at 33cm spacings. One row will be offset from the other by 16-17cm. Once planted the area will be mulched, a basic fence will be erected either side of the hedge with rabbit netting to protect the young plants while they are established.

### **Living Willow Hedge**

The panels will be planted into a 60cm deep trench. Regular watering or a trickle irrigation system will be fitted for the first 2 years of growth.

### **Trees**

Holes will be dug just a little deeper than the container the tree was potted in and at twice the diameter. Roots to be teased out long the side of the root ball and planted into the hole. The hole will be filled with soil, a stake will be erected and the area will be mulched. A wire net will frame the tree in order to protect it from hares and deer.

## Ongoing Maintenance

---

### **Beech Hedge**

In the first 2 years of planting there will be little to no maintenance required. The area around the hedge will be weeded and in dry periods the hedge will be watered.

After the 3rd year or when deemed necessary the hedge will be trimmed back to a height of 1.8m (6ft) once per year.

### **Living Willow Hedge**

A drip irrigation system or regular watering will be conducted during the summer months of the first 2 years after planting. In year 1, summer trimming will be completed in order to maintain the height of the hedge as it is so fast growing.

During the winter and on an annual basis thereafter the hedge will be cut back to a height of 2m tall. Cuttings taken will be planted elsewhere on the farm to provide windbreaks in other fields. Fertiliser will be applied annually in the winter if required.

### **Rowan and Wild Cherry trees**

On an annual basis the area around the tree will be weeded however given that these trees fall into Pruning group 1 on the RHS website little to no pruning will be required.

### **Hazel tree**

After 5 years Hazel will be coppiced during the winter to invigorate growth. It will grow back quickly and be more vibrant and full in response.

It should be noted that any trees which die in the first 5 years of operation will be replaced like for like.

Appendix A - Existing Landscape photograph

---



## Appendix B - Size of tree upon planting

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1. **Rowan tree**, *Sorbus Aucuparia*, at between 3m to 4m tall. Already taller than the Glamping pods which are 2.6m in height.

Image taken from Barcham trees link: <https://www.barcham.co.uk/products>



2. **Wild Cherry tree**, *Prunus Avium*, at between 3m to 4m tall. Already taller than the Glamping pods which are 2.6m in height.

Image taken from Barcham trees link: <https://www.barcham.co.uk/products/prunus-avium>



3. **Hazel tree**, *Sorbus Aucuparia*, at between 1.5m to 2m tall. The smallest of the trees but is still at least 5ft tall upon planting.

Image taken from Barcham trees link: <https://www.barcham.co.uk/products/Corylus-avellana-multi-stem>



## Appendix C - Living Willow instant hedge example

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[http://www.etsluk.com/images/drumoak\\_project\\_profile.pdf](http://www.etsluk.com/images/drumoak_project_profile.pdf)



# The Green Barrier™

*Patented Design & Construction*

**Project Profile:** Drumoak, Aberdeen

**Client:** Stewart Milne Homes

**Detail:** 215mtrs length x 2.5mtrs high non acoustic Green Barrier, complete with irrigation system.

**Objective:** To screen new residential area from busy road

**Construction date:** April 2006



The site next to an A road, before installation of the Green Barrier.



Excavating 600mm deep trench through the top of the earth bund.



The Green Barrier in living Willow after completion. New growth will appear in spring.



The willow barrier is producing lush growth only 4 months after planting.

With acknowledgement to Stewart Milne Homes.

## Appendix D - Online Research Sources

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### **Green Beech Hedge**

- Beech Hedge information pack including photos, planting information and key facts:  
<https://www.hedgenursery.co.uk/common-beech.html>
- How to plant and maintain a Beech hedge  
<https://www.ashridgetrees.co.uk/gardening-advice/how-to-plant-hedge/how-to-plant-beech-hedging>

### **Living Willow Hedge**

- Non acoustic green barrier hedge in living willow fact sheet  
[http://www.etsluk.com/non\\_acoustic\\_green\\_barriers.html](http://www.etsluk.com/non_acoustic_green_barriers.html)
- Green Barrier in living willow maintenance sheet:  
[http://www.etsluk.com/green\\_barrier\\_maintenance.html](http://www.etsluk.com/green_barrier_maintenance.html)
- Living Willow profile  
<https://www.rhs.org.uk/advice/profile?pid=588>

### **Rowan Tree**

- Rowan tree information pack including photos, key facts, short video 'a year in the life of a Rowan tree' and value to the environment and wildlife:  
<https://www.woodlandtrust.org.uk/trees-woods-and-wildlife/british-trees/a-z-of-british-trees/rowan/>
- Average Growth rate:  
[https://www.hedging.co.uk/acatalog/product\\_10247.html](https://www.hedging.co.uk/acatalog/product_10247.html)
- How to plant a potted tree:  
[http://www.bbc.co.uk/gardening/basics/techniques/plant\\_tree1.shtml](http://www.bbc.co.uk/gardening/basics/techniques/plant_tree1.shtml)
- Tree Maintenance and pruning:  
<https://www.rhs.org.uk/advice/profile?pid=549>
- Size of Rowan tree upon planting:  
<https://www.barcham.co.uk/products/sorbus-aucuparia>

### **Wild Cherry Tree**

- Wild Cherry tree information pack including photos, key facts, short video 'a year in the life of a Rowan tree' and value to the environment and wildlife:

<https://www.woodlandtrust.org.uk/trees-woods-and-wildlife/british-trees/a-z-of-british-trees/rowan/>

- Average Growth rate:

[https://www.hedging.co.uk/acatalog/product\\_10165.html](https://www.hedging.co.uk/acatalog/product_10165.html)

- How to plant a potted tree:

[http://www.bbc.co.uk/gardening/basics/techniques/plant\\_tree1.shtml](http://www.bbc.co.uk/gardening/basics/techniques/plant_tree1.shtml)

- Size of Wild Cherry upon purchase:

<https://www.barcham.co.uk/products/prunus-avium>

### **Hazel Tree**

- Hazel tree information pack including photos, key facts, short video 'a year in the life of a Hazel tree' and value to the environment and wildlife:

<https://www.woodlandtrust.org.uk/trees-woods-and-wildlife/british-trees/a-z-of-british-trees/hazel/>

- Guide on how to maintain has a shrub rather than a tree:

<https://www.growveg.co.uk/guides/a-guide-to-growing-your-own-hazelnuts/>

- Short key facts information pack:

[https://www.rhs.org.uk/Plants/4511/Corylus-avellana-\(F\)/Details](https://www.rhs.org.uk/Plants/4511/Corylus-avellana-(F)/Details)

- Ongoing Maintenance and Pruning:

<https://www.rhs.org.uk/advice/profile?pid=161>

- Size of Hazel upon purchase:

<https://www.barcham.co.uk/products/Corylus-avellana-multi-stem>

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Stouslie Farm House  
Hawick  
TD9 7NX

Planning Department  
Scottish Borders Council Headquarters  
Newtown St. Boswells  
Melrose  
TD6 0SA

2<sup>nd</sup> June 2020

Dear Mr Shearer,

Firstly, I would like to thank you for your time during our call yesterday. It was massively beneficial for me to talk directly with yourself as our planning officer to better understand the issues relating to our planning application.

Following your email sent on the 22<sup>nd</sup> May and our subsequent conversation, I would like to summarise the 3 main issues reported by the council and our proposed solutions for your consideration.

**Issue One:**

*The business plan provided with the full planning application does advise that there would be quite large profits after years 2 and 3 but there is no predicted balance sheet of expenditure therefore it is difficult to confirm if profits are realistic and this proposal would indeed represent a viable and sustainable rural diversification. This information should be provided to demonstrate the viability of the enterprise.*

**Solution:**

When submitting the full planning application I was unaware that full financial information should also be included. Please accept my apology for this misunderstanding. I have now attached a copy of the full business plan that includes a summary of the financial information and a spreadsheet containing a full financial breakdown of:

- Start up costs
- Cashflow projection - Business setup
- Cashflow projection - Year 1
- Cashflow projection - Year 2
- Cashflow projection - Year 3
- Personal expenses
- Loan repayment estimation

The business plan and full financial breakdown was developed with the help and advice from Business Gateway and our accountant at JRW Group. I attended business/financial planning training sessions and had 1 to 1 meetings with Business Gateway to ensure that this business idea was a viable and sustainable project.

**Issue Two:**

*The main issue is the site chosen for the proposed development. The development is located in a previously undeveloped field which occupies a isolated location away from the farm steading and any other buildings. This siting for the development would represent a sporadic form of development which would fail to respect the character of the surrounding area.*

**Solution:**

Careful consideration was given to the proposed site location before submitting our full planning application, this is outlined within the Site Selection report. However, I would like to explain in further detail the context of the site and surrounding location. Please see the Google satellite image of the surrounding area highlighted with all existing developments in comparison to the proposed Glamping site (page 5).

The field in which the proposed Glamping site would be situated has in fact been previously developed. On the west side of this field 'Stouslie Schoolhouse' and stables were constructed some time ago. In addition to this Priestrig croft and Fiddlehill holiday cottage are also located a little further northwest of the site.

The distance measured between each site is as follows:

- Stouslie farm house to the Glamping site 175m (160m from the last farm building)
- Stouslie Schoolhouse to the Glamping site 152m
- Fiddlehill holiday cottage to Glamping site 184m
- Priestrig croft to Glamping site 206m

Please note all distances were measured using Google maps to ensure accuracy.

The Glamping site is centrally located between all existing developments. It can easily be seen from Stouslie Farm house and only takes 85 seconds to walk from the farm house along the public road to the entrance of the site. Please see below a Google street map image from the proposed site entrance looking east towards Stouslie farm house.



Stouslie Farm House and steading

As the site is in an elevated position it looks across the back of Stouslie Schoolhouse to the west. This can easily be seen in a Google street map image from the public road where the entrance to the site would be formed. Please see below.



When choosing this site the following observations were made:

1. It is within close enough proximity to Stouslie Farm house that it will not impact upon any farm activities or present any potential health and safety issues for our customers where heavy machinery and livestock are concerned. Almost all farm traffic runs east of Stouslie farm as we rent West Boonraw farm and run both together as one operation.
2. It is a respectful distance away from our neighbours so that it does not impede upon their privacy.
3. It is close to the Stouslie Farm house, only an 85 second walk away so that we are on site to welcome and assist customers who have chosen to come and visit the Scottish Borders.
4. It is not set in an isolated location on the periphery of the farm where no other existing developments are nearby. We chose this site so that it was within a populated area nearby our own farm house and neighbours. Our nearest neighbours east of Stouslie Farmhouse are 1.4 kilometres away.
5. Given the lie of the land within this field this site sits on a natural plateau near to the public road resulting in a significantly reduced requirement for heavy groundwork to take place causing less disturbance to the environment. It is also on a natural free draining site with no risk of flooding.
6. Water will run naturally to the site without the need for a water pump. The water capacity test also confirms that we have enough water to service the site and hot tubs.
7. The percolation test provides evidence that this site will accommodate an adequate drainage system approved by SEPA.
8. The natural backdrop of Beech trees and Beech hedging along the other side of the public road provides shelter and a beautiful backdrop which will help to blend the pods into the natural landscape, particularly as the pods are made of wood with brown Britmet roof and are compact in size (only 2.6m tall).
9. With the introduction of the new Soft Landscape proposal we will further enhance the existing landscape using native trees and hedging providing a windbreak, privacy and food/shelter for the local wildlife allowing the pods to be assimilated into the wider landscape.

10. From a customer appeal perspective this site will provide a peaceful and relaxing stay without interruptions from daily farm operation. It will provide a green space and beautiful view down the Teviotdale valley to enjoy and connect with nature. Showcasing the beauty of the Borders.

In the absence of a site visit Google street view provides the opportunity to see the site. Please copy and paste the link below into your search bar: <https://goo.gl/maps/paqb3LoVxWKFXATL7>

It should be noted that although we can use Google street view it does not provide the same clarity of the site as the wide camera angle can distort the image. A site visit provides the opportunity to experience the site and the context of the land as you can clearly see where each house is in comparison to the site.

**Map of the Surrounding area**

The distance from the Glamping pod site to Priestrig Croft is 206m

The distance from the Glamping pod site to Fiddlehill holiday cottage is 184m.

The distance from Stouslie farm house to the Glamping site is 175m. From the last farm building it is only 160m away. It takes 85 seconds to walk along the public road from Stouslie farm house to the site entrance. The entrance to the Glamping pod site can be seen from Stouslie farmhouse and vice versa.



Stouslie farm house and steading

Proposed Glamping site

Priestrig Croft

Fiddlehill Holiday Cottage

Fiddle Hill Cottage

The Glamping site is 152m from Stouslie Schoolhouse.

**Stouslie Schoolhouse and stables**  
 This was built in the proposed field some time ago and served as a farm cottage to Stouslie farm house. It is now a holiday home for the owners who live abroad. The back of Stouslie Schoolhouse can easily be seen from the Glamping pod site.

### **Issue Three:**

*Any site landscaping would take a considerable period of time (possibly 10 -15 years) to mature to help to screen and assimilate the development into the landscape.*

### **Solution:**

I have been in contact with a local forestry contractor, Cheviot tress nursery based in Berwick upon tweed and conducted my own research online in order to develop a Soft Landscaping Proposal that will adhere to the recommendations set out by the Scottish Borders Council Landscape Architect. Please find attached the full report which includes:

- Details on the existing landscape
- New landscape proposal
- Tree and plant analysis including a breakdown of all native plants and their estimated growth rates
- Schedule for tree and plant summary
- Programme for completion
- Ongoing maintenance

As outlined within the report, we propose to plant a combination of older (3-4 yrs) Beech hedge that is already 1-1.25 metres tall and a 2m high living willow hedge that will provide instant results within 4 months of planting. Whilst we appreciate that it will take much longer for a tree to reach its full potential size by planting a native tree mix of Wild Cherry, Rowan and Hazel as semi mature trees they will already be 2.5 to 3m in height which is higher than the pods themselves. Therefore we will see a fully established landscape in a much quicker timeframe.

In summary, I hope that the additional information provided will be sufficient to demonstrate that the proposed Glamping development will be viable and suitable for the area & landscape. I would very much welcome further discussion and preferably a site visit so that the planning department can make their decision with a full and transparent view of the proposed project. I am committed to working together with the planning office to make sure that this project does not impact the existing landscape in a detrimental way. In fact it is the very opposite where we are looking to enhance the landscape by using native trees and hedges which will provide shelter and food for local wildlife and insects whilst creating windbreaks, privacy and an aesthetically pleasing site that is in keeping with the wider landscape.

Given recent events with the Covid-19 pandemic the pods can easily accommodate new social distancing rules making people feel safe to go on holiday once again. The overall benefits this project can bring to the entire community have also been highlighted within the business plan 'Building a customer base and benefits for the wider community'. We feel that this project will help to boost the local economy during a time of unprecedented circumstances and difficulties through a direct capital investment during construction providing work for a range of different tradesmen as well as attracting more tourists to the borders. Ultimately contributing to the sustainability of local services, producers, crafters, events and attractions across the region.

Please let me know if there is anything else you would like me to provide and I look forward to hearing from you.

Yours Sincerely,  
Mrs Carly Anderson

## RE: Hot Tub Advice



**From** Davison, Cristina <Cristina.Davison@sepa.org.uk>  
**To** <contact@glampitect.co.uk>  
**Date** 2020-03-11 11:28

Hi Calum and Alisdair,

I have received some inputs from Chemistry and, unfortunately, they were also not aware of this product (Active Silver Oxygen). My colleagues at chemistry have contacted the company asking for information on the disclosable ingredients for the algaecide and the 'comfort enhancer', but haven't received a detailed data sheet to date. They informed me that silver salts are usually used in disinfection processes and can be very toxic in the environment, but is rapidly removed by formation of the sulfate salt, which mitigates the toxicity.

SEPA Chemistry and Policy departments are currently looking into these discharges and working on the risk assessment for different hot tub cleaning products, however, they could not provide me with an anticipated date for having the results of these analysis published or available for internal use.

In a nutshell, considering the level of information we have at the present about the use of Active Silver Oxygen, I can not confirm that this product poses no harm to the environment. Bromine and chlorine are more often used as cleaning products for hot tubs and, as I already told you, providing the hot tub water is allowed to cool, it's drained to the separate soakaway and that there is no chlorine/bromine in the water, it can be discharged to land without the need for an authorisation.

In case I can be of any further assistance please do not hesitate to contact me.

Kind regards,

### Cristina Davison

Environment Protection Officer  
Compliance & Beyond

Scottish Environment Protection Agency - SEPA Galashiels  
Burnbrae, Mossilee Road, Galashiels, TD1 1NF  
Tel: 01896 754797 / 07768 090304  
Email: [cristina.davison@sepa.org.uk](mailto:cristina.davison@sepa.org.uk)

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**From:** contact@glampitect.co.uk <contact@glampitect.co.uk>  
**Sent:** 27 February 2020 13:44  
**To:** Davison, Cristina <Cristina.Davison@sepa.org.uk>  
**Subject:** RE: Hot Tub Advice

Hi Cristina

Ali is away on holiday so it's over to me.

Thanks for your prompt response and yes, 2 weeks is no problem. It will be good to get a full conclusion on it.

I look forward to hearing from you when it's done.

Thanks

Kind Regards

Calum MacLeod

Glampitect

M: 01312483019

M: 07798925063

E: [contact@glampitect.co.uk](mailto:contact@glampitect.co.uk)

W: [www.glampitect.co.uk](http://www.glampitect.co.uk)



We designed (and own) the best glamping site in Scotland... ask us how



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**From:** Davison, Cristina <[Cristina.Davison@sepa.org.uk](mailto:Cristina.Davison@sepa.org.uk)>

**Sent:** 27 February 2020 13:30

**To:** 'contact@glampitect.co.uk' <[contact@glampitect.co.uk](mailto:contact@glampitect.co.uk)>

**Subject:** RE: Hot Tub Advice

Hi Alisdair,

Thank you for contacting SEPA to discuss this hot tub water discharge.

Since it's the first time I heard about this product, I thought it was worth it to pass your enquiry on to our chemistry department to check if the components of the Active Silver Oxygen can be harmful to the environment. It might take about two weeks to hear back from them, is that ok?

I can anticipate that provided the water is allowed to cool down there will be no difference whether it goes to the field/gravel area or to a dedicated soakaway. This is up to you and your client to decide what suits best in your case. The only concern would be if you were proposing to use the same drainage infrastructure for waste water, as the chemicals/sanitiser products could kill the bugs in the septic tank or treatment plant.

As soon as I have any news I'll get in touch with a definitive answer to your query.

Kind regards,

**Cristina Davison**

Environment Protection Officer  
Compliance & Beyond

Scottish Environment Protection Agency - SEPA Galashiels  
Burnbrae, Mossilee Road, Galashiels, TD1 1NF  
Tel: 01896 754797 / 07768 090304  
Email: [cristina.davison@sepa.org.uk](mailto:cristina.davison@sepa.org.uk)

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**From:** [contact@glampitect.co.uk](mailto:contact@glampitect.co.uk) <[contact@glampitect.co.uk](mailto:contact@glampitect.co.uk)>  
**Sent:** 26 February 2020 14:43  
**To:** Davison, Cristina <[Cristina.Davison@sepa.org.uk](mailto:Cristina.Davison@sepa.org.uk)>  
**Subject:** Hot Tub Advice

Good afternoon Christina,

We spoke on the phone a few weeks back regarding drainage of wood fired hot tubs into a green field.

A quick overview - Our clients are in the processes of applying for planning permission to install 3 glamping pods on their farm just outside Hawick. They would like to install wood fired hot tubs (one for each pod) and have the ability to drain them either into the field or to a dedicated soakaway.

You advised that the warm water temperature would require drainage to a gravel area to allow the water to cool before contacting the soil, rather than draining to a soakaway.

Our client would still like to explore the soakaway and has produced (with information from the hot tub manufacturer) the attached document. This explains how the hot tubs will be cleaned, allowed to cool and drained to the separate soakaway.

Would you be able to advise if the proposal would be acceptable from SEPAs perspective?

Kind Regards,

Alisdair Young

Glampitect  
T: 01312483019  
E: [contact@glampitect.co.uk](mailto:contact@glampitect.co.uk)  
W: [www.glampitect.co.uk](http://www.glampitect.co.uk)

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**Re: Letter of Support - Stouslie Snugs**

**From** <contact@glampitect.co.uk>  
**To** [REDACTED]  
**Date** 2020-03-25 08:58

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**From:** Wilma Norris <Wilma.Norris@bgateway.com>  
**Sent:** Tuesday, March 24, 2020 7:10:51 PM  
**To:** [REDACTED]  
**Subject:** Re: Letter of support

This is a letter in support of the planning application for Stouslie Snugs. As Business Adviser for Business Gateway I have been working with Mrs Carly Anderson to develop her idea of running a glamping site at Stouslie Farm into a viable business proposal.

Mrs Anderson has researched and planned the business in great detail which is reflected in a solid business plan and supporting financial documentation. The financial forecast has been developed using the extensive market research Mrs Anderson has performed and shows ambitious but realistic figures for the business. Tourism is a key sector in the Scottish Borders and form a large part of the local economy. The business is set to attract a wide range of national and international visitors to the Scottish Borders, promoting and boosting the local area. The business will also utilise a range of local suppliers to ensure that the offering of stands out, this will further boost the local economy.

Mrs Anderson has been a great pleasure to work with and I am confident that she will make a great success of Stouslie Snugs. I fully support the planning application for Stouslie Snugs.

If there are any further questions please do not hesitate to get in touch with me.

Kind Regards

Wilma Norris

Business Adviser

**Business Gateway Scottish Borders**

**Email:** [wilma.norris@bgateway.com](mailto:wilma.norris@bgateway.com)

**Tel:** 01835 825 607 (direct)

**Web:** [www.bgateway.com](http://www.bgateway.com)

**Enquiries:** 0300 013 4753

Sent from [Mail](#) for Windows 10

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**SCOTTISH BORDERS COUNCIL**

**APPLICATION TO BE DETERMINED UNDER POWERS DELEGATED TO  
CHIEF PLANNING OFFICER**

**PART III REPORT (INCORPORATING REPORT OF HANDLING)**

**REF :** 20/00343/FUL  
**APPLICANT :** Mrs Carly Anderson  
**AGENT :** Glampitect  
**DEVELOPMENT :** Siting of 3 No glamping pods and associated works  
**LOCATION:** Land South West Of Stouslie Farmhouse  
Hawick  
Scottish Borders

**TYPE :** FUL Application

**REASON FOR DELAY:**

---

**DRAWING NUMBERS:**

<b>Plan Ref</b>	<b>Plan Type</b>	<b>Plan Status</b>
200104-2-01	Location Plan	Refused
200104-1-01	Proposed Site Plan	Refused
200104-2-01	Proposed Site Plan	Refused
200104-3-01	Proposed Site Plan	Refused
200104-4-01	Proposed Site Plan	Refused
200104-9-01	Proposed Elevations	Refused
200104-11-01	Landscaping Plan	Refused

**NUMBER OF REPRESENTATIONS: 0**

**SUMMARY OF REPRESENTATIONS:**

Consultees;

Access Officer: No response at the time of writing.

Community Council: No response at the time of writing.

Economic Development: No objection. The development compliments with the Scottish Borders Tourism Strategy 2013-2020 strategic target by:

- o Increasing volume of overnight visitors and visitor spend.
- o Ensure the Region's accommodation offerings meet consumer demands and where opportunities are available can act as an attractor of demand in themselves.
- o Ensure a relevant range of types of accommodation is available across the Region to meet evolving market demand and expectations. Identify opportunities where better quality and new products can 'lead' and generate new demand and will continue to raise average quality quotient across all forms of accommodation.
- o Consider the proposed cabins are accessible friendly.

Environmental health: No response at the time of writing.

Landscape Architect: No objection. The development of three pods in this rural location will have a modest level of visual intrusion, given the remote location and limit number of roads or locations where it will be visible from. While there is a hedge and roadside trees to the north forming a backdrop to the site, more robust planting proposals would assimilate the development into the wider landscape as well as providing some shelter and privacy at this elevated location. Recommend a condition to agree a suitable landscaping scheme and note that the entrance to the development should be low key.

Roads Planning: The principle of the development is supportable. Recommend that further information is required to determine if the increase in traffic using the minor road would cause any conflicts with traffic associated with adjoining agricultural land. A site visit would normally determine if there were sufficient informal passing opportunity along the road to mitigate traffic or if formal passing places would be required. Due to covid-19 restrictions it has not been possible to carry out a site visit to assess this. Additionally it may be worth liaising with Transport Scotland to confirm if they have any comment regarding the A7.

#### **PLANNING CONSIDERATIONS AND POLICIES:**

Scottish Borders Local Development Plan 2016

PMD1: Sustainability

PMD2: Quality Standards

EP3: Local Biodiversity

ED7: Business, Tourism and Leisure Development in the Countryside

EP13: Trees, Woodlands and Hedgerows

HD3: Protection of Residential Amenity

IS7: Parking Provision and Standards

IS9: Waste Water Treatments Standards and Sustainable urban Drainage

Supplementary Guidance on;

Biodiversity

Placemaking and Design

Landscape and Development

Trees and Development

Waste Management

Privacy and overlooking

Other Considerations;

Scottish Borders Tourism Strategy (SBTS) 2013-2020

**Recommendation by** - Scott Shearer (Planning Officer) on 2nd July 2020

Site Description

The application site is located on the northern edge of a field next to a minor road on Stouslie Farm which is located approximately 1.45km to the North West of Hawick. A dry stone dyke separates the site from the road which is enclosed by mature planting on its opposite side. The site is located on a plateau which gently slopes away from the road before the field falls more drastically in a south to south westerly direction towards a small watercourse. Stouslie farm steading is located further along the minor road to the north east on the opposite side of a pocket of planting. A property known as Preistrig and its outbuilding are located adjacent to the watercourse.

Proposal

Consent is sought for change of use and erection of 3 glamping pods and associated works which include formation of an entrance, parking area and internal access. Each pod would be timber clad and include an attached deck with hot tub and gravel surfaced seating area.

## Site History

The site does not appear to have had any previous planning history associated and appears to have only been previously used for farming operations.

A preapp (ref; 20/00052/PREAPP) for this development was undertaken where concerns were raised about the visual impact of the chosen location.

## Policy Principle

The application site is located out with a settlement boundary within the countryside. Policy ED7 aims to allow appropriate employment generating development in the countryside whilst protecting the environment and ensuring such developments are appropriate for their location, including suitable tourism developments.

The proposed glamping development is to be used for tourism purposes and the proposals would represent a partial diversification of the existing farming enterprise which would continue to operate elsewhere on the applicants land. The application has been supported by a Business Plan which is required by Policy ED7 where new businesses are being created. The Business Plan has been updated through the application process and suggests that the development would be viable. The Councils Economic Development Officers are satisfied that the development would accord with the SBTS.

Glamping accommodation represents a form of tourism development which can be appropriate to a countryside location. Against the three qualifying criteria which are listed under Policy ED7 as potential rural diversification proposals, I am satisfied that the broad principles of this tourism development aligns with the requirements of item b). Thereafter the policy lists a range of detailed criteria for which are assessed in the following sections below.

## Landscape and Visual Impact

The site is not located within any designated landscape areas. LDP policy provision which are particularly relevant for the assessment of the landscape and visual impact of the proposed development are;

- o Criteria a) of the other considerations listed in ED7 which seeks to ensure that the development must respect the amenity and character of the surrounding area.
- o Criteria h) of Policy PMD2 seeks for development to be created with a sense of place, based on a clear understanding of their context.
- o Criteria k) of PMD2 seeks to ensure that the development is compatible with, and respect the character of the surrounding area.
- o Criteria m) of PMD2 seeks to ensure that appropriate boundary treatments are provided to help integrate the proposals into their surroundings.

This rural area has been identified as being attractive by the Councils Landscape Architect. The site does have a picturesque setting at towards the summit of rolling fields with views from the south contained by the mature planting on the opposite side of the road. The area has a remote quality and where previous development has taken place in this part of the countryside buildings appear discrete with screening afforded by mature planting or hidden by the rolling landform.

Evidence of the suitability of other sites on the landholding have been provided in the submission with the applicants discounting other options based on conflicts with the farming operations, lack of access and site topography. Against item c) of the other considerations of Policy ED7 I am satisfied that there are no existing building which could be converted to provide holiday accommodation at this stage and there appears are no suitable brownfield sites on the farm.

There may be limited visibility of the proposed development from the Southern Upland Way which runs from Hawick in a north east direction past Stouslie. There is however visibility of the development from the minor road which runs from Heip Hill towards Priestrig to the south west of the development. The development would not appear to be visible across all of this route, however where there is visibility you are seeing the proposals from a lower ground level. The property of Priestrig may be partly visible from some views however it is pretty well screened by landscaping and the property is located at a noticeably lower ground

level and also far enough away from the application site that the proposals and existing property will not appear to be well related to one another. There appears to be even less visual integration with the Stoullie Farm Steading to the north east. There is no existing landscaping at the site which the proposals can attempt to tie into. In this context the site appears to be set out on its own in the landscape and this is a concern.

I recognise that the Council's landscape architect has not objected and the applicants have sought to better integrate the development into the surrounding by improving the sites landscaping. The planting proposals do provide a hedge to flank the development however it offers little robust planting to assimilate the development into the surrounding landscape when viewing from the south and instead protects outward views. The scale and design of the pods are not necessarily challenging however there will also be visibility of the associated hardstanding's, hot tubs and parked cars in the site. The linear layout also sets a potential scenario for future expansion that would further impact on the landscape (albeit any future application would require consideration on its own merits). The sloping nature of the site would also suggest that the development would likely require some engineering operations the visual impact of which is not clear.

The linear position of the development across the summit of the field will draw attention and land engineering works could exacerbate its visual impact by not tying in sympathetically with the natural landform and the application submission does not demonstrate otherwise. It is conceded that these views are from a minor road nevertheless the proposed development would appear exposed and isolated and its appearance would jar with the natural character and appearance of this settled rural area. These detrimental impacts are judged to cause enough demonstrable harm to conclude that the landscape and visual impact of the development does not satisfy Criteria a) of the other considerations listed in ED7, Criteria h) and k) of PMD2. Furthermore the proposed planting does not suitably integrate the development into the surrounding landscape therefore Criteria m) of PMD2 has not been fully met.

#### Impact on neighbouring uses

The proposals would not adversely affect the amenity of any neighbouring residential properties.

The development could impact on the existing farming operation nevertheless this would ultimately be under the control of the applicants and would be a business decision to ensure that the uses could adequately co-exist.

#### Accessibility

Roads planning are supportive of the principle of the proposals. While Roads have not be able to fully determine if the increase traffic using the minor road would cause any conflicts with agricultural vehicles, if mitigation was necessary this could normally be address via planning conditions seeking to agree passing places. The applicants would appear to have control over the land surrounding the road. Therefore if passing places were required these could be provided and as a result of this there appears no compelling roads safety issues which could not be addressed by planning conditions if approval was recommended. There is no need to consult Transport Scotland.

PMD1 requires encouragement of walking, cycling and public transport in preference to the private car. The proposal is not directly served by any means of public transport and is not within likely reasonable walking distance from amenities. It is anticipated that the proposals would rely on car users, though the Southern Upland Way is not a significant distance from the development whereby the proposals could appeal to walkers and cyclists or promote visitors to use the route. It is, ultimately, not opposed on accessibility grounds given its small scale but it has the potential to expand and future development could be a potential concern regarding the sustainability of the development as a result of its relatively remote location. That is not a matter for this application, however.

#### Site Services

A private water supply is to be provided with foul drainage to treatment tanks and soakaways. Correspondence has been provided from the applicant's discussions with SEPA which identifies that SEPA do not raise concerns about the means of foul drainage.

No precise information has been provided about water supply or surface water drainage. These details could however be agreed by condition if approval were to be recommended.

#### Other Matters

I have assessed this proposal against the Local Development Plan and I have not found there to be any other areas of conflict. There are no affected ecological designations and no works that would require prior ecological assessment.

#### **REASON FOR DECISION :**

The development is contrary to Policy ED7 and criterion h), k) and m) of Policy PMD2 of the Local Development Plan 2016 in that the site occupies an isolated and exposed location where the landscape and visual impacts of the proposals would fail to sympathetically integrate with the character, appearance and sense of place of the surrounding rural area and the proposed landscaping does not provide sufficient mitigation of the resulting landscape and visual impacts. Other material considerations do not outweigh this conflict.

#### **Recommendation:** Refused

- 1 The development is contrary to Policy ED7 and criterion h), k) and m) of Policy PMD2 of the Local Development Plan 2016 in that the site occupies an isolated and exposed location where the landscape and visual impacts of the proposals would fail to sympathetically integrate with the character, appearance and sense of place of the surrounding rural area and the proposed landscaping does not provide sufficient mitigation of the resulting landscape and visual impacts. Other material considerations do not outweigh this conflict.

**“Photographs taken in connection with the determination of the application and any other associated documentation form part of the Report of Handling”.**

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Mrs Carly Anderson  
per Glampitect  
Per Alisdair Young  
10 Lochside Place  
Edinburgh  
EH12 9RG

**Please ask for:** Scott Shearer  
☎ 01835 826732  
**Our Ref:** 20/00343/FUL  
**Your Ref:**  
**E-Mail:** sshearer@scotborders.gov.uk  
**Date:** 3rd July 2020

Dear Sir/Madam

**PLANNING APPLICATION AT Land South West Of Stouslie Farmhouse Hawick Scottish Borders**

**PROPOSED DEVELOPMENT:** Siting of 3 No glamping pods and associated works

**APPLICANT:** Mrs Carly Anderson

Please find attached the formal notice of refusal for the above application.

Drawings can be found on the Planning pages of the Council website at <https://eplanning.scotborders.gov.uk/online-applications/>.

Your right of appeal is set out within the decision notice.

Yours faithfully

John Hayward

Planning & Development Standards Manager

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (as amended)**

**Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013**

**Application for Planning Permission**

**Reference : 20/00343/FUL**

**To : Mrs Carly Anderson per Glampitect Per Alisdair Young 10 Lochside Place Edinburgh EH12 9RG**

With reference to your application validated on **27th March 2020** for planning permission under the Town and Country Planning (Scotland) Act 1997 (as amended) for the following development :-

**Proposal : Siting of 3 No glamping pods and associated works**

**at : Land South West Of Stouslie Farmhouse Hawick Scottish Borders**

The Scottish Borders Council hereby **refuse** planning permission for the **reason(s) stated on the attached schedule**.

**Dated 2nd July 2020  
Regulatory Services  
Council Headquarters  
Newtown St Boswells  
MELROSE  
TD6 0SA**

**John Hayward  
Planning & Development Standards Manager**

**APPLICATION REFERENCE : 20/00343/FUL**

**Schedule of Plans and Drawings Refused:**

<b>Plan Ref</b>	<b>Plan Type</b>	<b>Plan Status</b>
200104-2-01	Location Plan	Refused
200104-1-01	Proposed Site Plan	Refused
200104-2-01	Proposed Site Plan	Refused
200104-3-01	Proposed Site Plan	Refused
200104-4-01	Proposed Site Plan	Refused
200104-9-01	Proposed Elevations	Refused
200104-11-01	Landscaping Plan	Refused

**REASON FOR REFUSAL**

- The development is contrary to Policy ED7 and criterion h), k) and m) of Policy PMD2 of the Local Development Plan 2016 in that the site occupies an isolated and exposed location where the landscape and visual impacts of the proposals would fail to sympathetically integrate with the character, appearance and sense of place of the surrounding rural area and the proposed landscaping does not provide sufficient mitigation of the resulting landscape and visual impacts. Other material considerations do not outweigh this conflict.

**FOR THE INFORMATION OF THE APPLICANT**

If the applicant is aggrieved by the decision of the Planning Authority to refuse planning permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under Section 43A of the Town and Country Planning (Scotland) Act 1997 (as amended) within three months from the date of this notice.

The notice of review must be submitted on the standard form and addressed to the Clerk of The Local Review Body, Democratic Services, Scottish Borders Council, Council Headquarters, Newtown St Boswells, TD6 0SA or sent by email to [localreview@scotborders.gov.uk](mailto:localreview@scotborders.gov.uk). The standard form and guidance notes can be found online at [Appeal a Planning Decision](#). Appeals to the Local Review Body can also be made via the Scottish Government Planning and Environmental Appeals Division by clicking on the following link [PEAD](#)

If permission to develop land is refused or granted subject to conditions, whether by the Planning Authority or by the Scottish Ministers, and the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner may serve on the Planning Authority a purchase notice requiring the purchase of his interest in the land in accordance with the provisions of Part 5 of the Town and Country Planning (Scotland) Act 1997 (as amended).

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## PLANNING CONSULTATION

To: Economic Development Section

From: Development Management

Date: 30th March 2020

Contact: Scott Shearer ☎ 01835 826732

Ref: 20/00343/FUL

### PLANNING CONSULTATION

Your observations are requested on the under noted planning application. I shall be glad to have your reply not later than 20th April 2020, If further time will be required for a reply please let me know. If no extension of time is requested and no reply is received by 20th April 2020, it will be assumed that you have no observations and a decision may be taken on the application.

**Please remember to e-mail the DCConsultees Mailbox when you have inserted your reply into Idox.**

**Name of Applicant:** Mrs Carly Anderson

**Agent:** Glampitect

**Nature of Proposal:** Siting of 3 No glamping pods and associated works

**Site:** Land South West Of Stouslie Farmhouse Hawick Scottish Borders

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**CONSULTATION RESPONSE TO  
PLANNING OR RELATED APPLICATION**

<b>Comments provided by</b>	<b>Officer Name and Post:</b>		<b>Contact e-mail/number:</b>	
	Economic Development Section			
<b>Date of reply</b>	27/04/2020	<b>Consultee reference:</b>		
<b>Planning Application Reference</b>	20/00343/FUL	<b>Case Officer:</b> Scott Shearer		
<b>Applicant</b>	Mrs Carly Anderson			
<b>Agent</b>	Glampitect			
<b>Proposed Development</b>	Siting of 3 No glamping pods and associated works			
<b>Site Location</b>	Land South West Of Stouslie Farmhouse Hawick Scottish Borders			
<p><i>The following observations represent the comments of the consultee on the submitted application as they relate to the area of expertise of that consultee. A decision on the application can only be made after consideration of all relevant information, consultations and material considerations.</i></p>				
<b>Background and Site description</b>				
<b>Key Issues (Bullet points)</b>	<ul style="list-style-type: none"> <li>•</li> </ul>			
<b>Assessment</b>	<p>Economic Development would support the Siting of 3 No glamping pods and associated works at Land South West Of Stouslie Farmhouse Hawick Scottish Borders as it fits with the Scottish Borders Tourism Strategy 2013-2020 strategic target by:</p> <ul style="list-style-type: none"> <li>• Increasing volume of overnight visitors.</li> <li>• Increasing overnight visitor spend.</li> <li>• Ensure the Region's accommodation offerings meet consumer demands and where opportunities are available can act as an attractor of demand in themselves.</li> <li>• Ensure a relevant range of types of accommodation is available across the Region to meet evolving market demand and expectations. Identify opportunities where better quality and new products can 'lead' and generate new demand and will continue to raise average quality quotient across all forms of accommodation.</li> <li>• Particularly welcome are the accessible friendly cabins in the proposed drawings providing choice for visitors.</li> </ul>			
<b>Recommendation</b>	<input type="checkbox"/> <b>Object</b>	<input checked="" type="checkbox"/> <b>Do not object</b>	<input type="checkbox"/> <b>Do not object, subject to conditions</b>	<input type="checkbox"/> <b>Further information required</b>

<b>Recommended Conditions</b>	
<b>Recommended Informatives</b>	

## PLANNING CONSULTATION

To: Landscape Architect

From: Development Management

Date: 20th April 2020

Contact: Scott Shearer ☎ 01835 826732

Ref: 20/00343/FUL

### PLANNING CONSULTATION

Your observations are requested on the under noted planning application. I shall be glad to have your reply not later than 11th May 2020, If further time will be required for a reply please let me know. If no extension of time is requested and no reply is received by 11th May 2020, it will be assumed that you have no observations and a decision may be taken on the application.

**Please remember to e-mail the DCConsultees Mailbox when you have inserted your reply into Idox.**

**Name of Applicant:** Mrs Carly Anderson

**Agent:** Glampitect

**Nature of Proposal:** Siting of 3 No glamping pods and associated works

**Site:** Land South West Of Stouslie Farmhouse Hawick Scottish Borders

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**CONSULTATION RESPONSE TO  
PLANNING OR RELATED APPLICATION**

<b>Comments provided by</b>	<b>Officer Name and Post:</b>	<b>Contact e-mail/number:</b>		
	Landscape Architect S McDermott			
<b>Date of reply</b>	15 <sup>th</sup> May 2020	<b>Consultee reference:</b>		
<b>Planning Application Reference</b>	20/00343/FUL	<b>Case Officer:</b> Scott Shearer		
<b>Applicant</b>	Mrs Carly Anderson			
<b>Agent</b>	Glampitect			
<b>Proposed Development</b>	Siting of 3 No glamping pods and associated works			
<b>Site Location</b>	Land South West Of Stouslie Farmhouse Hawick Scottish Borders			
<p><b><i>The following observations represent the comments of the consultee on the submitted application as they relate to the area of expertise of that consultee. A decision on the application can only be made after consideration of all relevant information, consultations and material considerations.</i></b></p>				
<b>Background and Site description</b>	<p>The site is the north edge of a field, next to the minor road to the north west of Hawick. The area which lies within the Rolling Moorland Landscape Type 94 as described in SNH's Landscape Character Assessment for Scotland (2019) is characterised by <i>smooth hills and ridges, separated by shallow basins or valleys, many of which contain small lochs</i>, and the road network and settlement pattern is sparse with distant and panoramic views. The area is attractive although it does not lie within any landscape designation.</p>			
<b>Key Issues (Bullet points)</b>	<ul style="list-style-type: none"> <li>• Will this development fit into the wider landscape without having negative landscape and visual effects</li> </ul>			
<b>Assessment</b>	<p><b><i>The development of three pods in this rural location will have a modest level of visual intrusion, given the remote location and limit number of roads or locations where it will be visible from. While there is a hedge and roadside trees to the north forming a backdrop to the site, I consider that some more robust planting proposals would better settle the pods into the immediate landscape, including a hedge along the inside of the drystone wall and some tree planting to create a degree of separation between the pods as well as providing some shelter and privacy at this elevated location. This would help the proposal to be assimilated into the wider landscape.</i></b></p> <p><b><i>A more comprehensive planting scheme using, as far as possible, native species such as a mixed native hedge and a native tree mix should be a condition of consent.</i></b></p> <p><b><i>The entrance detail should be as low-key as possible to fit with the existing character of the immediate farmed landscape.</i></b></p>			
<b>Recommendation</b>	<input type="checkbox"/> Object	<input type="checkbox"/> Do not object	<input checked="" type="checkbox"/> Do not object, subject to conditions	<input type="checkbox"/> Further information required

<p><b>Recommended Conditions</b></p>	<p><b>LA02 Soft Landscaping - Submission of Details</b>  <i>NB: requires LA03 Commencement Condition</i></p> <p>No development shall take place except in strict accordance with a scheme of soft landscaping works, which shall first have been submitted to and approved in writing by the Planning Authority, and shall include (as appropriate):</p> <ul style="list-style-type: none"> <li>i. indication of existing trees, shrubs and hedges to be removed, those to be retained and, in the case of damage, proposals for their restoration</li> <li>ii. location of new trees, shrubs, hedges and grassed areas</li> <li>iii. schedule of plants to comprise species, plant sizes and proposed numbers/density</li> <li>iv. programme for completion and subsequent maintenance.</li> </ul> <p>Reason: To enable the proper form and layout of the development and the effective assimilation of the development into its wider surroundings.</p>
<p><b>Recommended Informatives</b></p>	

**CONSULTATION RESPONSE TO  
PLANNING OR RELATED APPLICATION**

<b>Comments provided by</b>	Roads Planning Service	<b>Contact e-mail/number:</b>		
<b>Officer Name and Post:</b>	Paul Grigor Roads Planning Officer	<a href="mailto:pgrigor@scotborders.gov.uk">pgrigor@scotborders.gov.uk</a> 01835 826663		
<b>Date of reply</b>	15 <sup>th</sup> April 2020	<b>Consultee reference:</b>		
<b>Planning Application Reference</b>	20/00343/FUL	<b>Case Officer:</b> Scott Shearer		
<b>Applicant</b>	Mrs Carly Anderson			
<b>Agent</b>	Glampitect			
<b>Proposed Development</b>	Siting of 3 No glamping pods and associated works			
<b>Site Location</b>	Land South West Of Stouslie Farmhouse Hawick Scottish Borders			
<i>The following observations represent the comments of the consultee on the submitted application as they relate to the area of expertise of that consultee. A decision on the application can only be made after consideration of all relevant information, consultations and material considerations.</i>				
<b>Background and Site description</b>				
<b>Key Issues (Bullet points)</b>	<ul style="list-style-type: none"> <li>• Access from the public road</li> <li>• Traffic generation</li> </ul>			
<b>Assessment</b>	<p>In principle I have no objections to the proposed development. However, as a result of restrictions on travel due to Coronavirus pandemic at the time of writing, no site visit has been undertaken. Therefore, I am unable to assess the impact this development will have on the single track public road serving the site from the A7.</p> <p>My concern relates to the potential increase in conflict between users of this minor road as result of the additional traffic from the development site, especially when you consider users of this proposed tourism facility may not be familiar with the route. Further consideration also has to be given to the fact that most traffic associated with this proposal is likely to be in summer months, when traffic associated with the adjoining agricultural land is likely to be at its peak. A site visit would allow me to determine if there were sufficient informal passing opportunities along the route to mitigate this increase in traffic or whether a number of formal passing places would be required.</p> <p>Given the above, I am unable to make a recommendation on this application as it stands due to the lack of information a site visit would give me.</p> <p>As the likely route in to the units, if supported, would be from the east, it may be worth confirming whether Transport Scotland have any comments as this route travels from the A7 Trunk Road.</p>			
<b>Recommendation</b>	<input type="checkbox"/> Object	<input type="checkbox"/> Do not object	<input type="checkbox"/> Do not object, subject to conditions	<input checked="" type="checkbox"/> <b>Further information required</b>
<b>Recommended Conditions</b>				
<b>Recommended Informatives</b>				

**AJS**

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## List of Policies

**Local Review Reference:** 20/00021/RREF

**Planning Application Reference:** 20/00343/FUL

**Development Proposal:** Siting of 3 No glamping pods and associated works

**Location:** Land South West of Stouslie Farmhouse, Hawick

**Applicant:** Mrs Carly Anderson

### Scottish Borders Local Development Plan 2016

#### POLICY PMD1: SUSTAINABILITY

In determining planning applications and preparing development briefs, the Council will have regard to the following sustainability principles which underpin all the Plan's policies and which developers will be expected to incorporate into their developments:

- a) the long term sustainable use and management of land
- b) the preservation of air and water quality
- c) the protection of natural resources, landscapes, habitats, and species
- d) the protection of built and cultural resources
- e) the efficient use of energy and resources, particularly non-renewable resources
- f) the minimisation of waste, including waste water and encouragement to its sustainable management
- g) the encouragement of walking, cycling, and public transport in preference to the private car
- h) the minimisation of light pollution
- i) the protection of public health and safety
- j) the support to community services and facilities
- k) the provision of new jobs and support to the local economy
- l) the involvement of the local community in the design, management and improvement of their environment

#### POLICY PMD2: QUALITY STANDARDS

All new development will be expected to be of high quality in accordance with sustainability principles, designed to fit with Scottish Borders townscapes and to integrate with its landscape surroundings. The standards which will apply to all development are that:

##### Sustainability

- a) In terms of layout, orientation, construction and energy supply, the developer has demonstrated that appropriate measures have been taken to maximise the efficient use of energy and resources, including the use of renewable energy and resources such as District Heating Schemes and the incorporation of sustainable construction techniques in accordance with supplementary planning guidance. Planning applications must demonstrate that the current carbon dioxide emissions reduction target has been met, with at least half of this target met through the use of low or zero carbon technology,
- b) it provides digital connectivity and associated infrastructure,
- c) it provides for Sustainable Urban Drainage Systems in the context of overall provision of Green Infrastructure where appropriate and their after-care and maintenance,
- d) it encourages minimal water usage for new developments,
- e) it provides for appropriate internal and external provision for waste storage and presentation with, in all instances, separate provision for waste and recycling and, depending on the location, separate provision for composting facilities,
- f) it incorporates appropriate hard and soft landscape works, including structural or screen planting where necessary, to help integration with its surroundings and the

## List of Policies

wider environment and to meet open space requirements. In some cases agreements will be required to ensure that landscape works are undertaken at an early stage of development and that appropriate arrangements are put in place for long term landscape/open space maintenance,

- g) it considers, where appropriate, the long term adaptability of buildings and spaces.

### Placemaking & Design

- h) It creates developments with a sense of place, based on a clear understanding of the context, designed in sympathy with Scottish Borders architectural styles; this need not exclude appropriate contemporary and/or innovative design,
- i) it is of a scale, massing, height and density appropriate to its surroundings and, where an extension or alteration, appropriate to the existing building,
- j) it is finished externally in materials, the colours and textures of which complement the highest quality of architecture in the locality and, where an extension or alteration, the existing building,
- k) it is compatible with, and respects the character of the surrounding area, neighbouring uses, and neighbouring built form,
- l) it can be satisfactorily accommodated within the site,
- m) it provides appropriate boundary treatments to ensure attractive edges to the development that will help integration with its surroundings,
- n) it incorporates, where appropriate, adequate safety and security measures, in accordance with current guidance on 'designing out crime'.

### Accessibility

- o) Street layouts must be designed to properly connect and integrate with existing street patterns and be able to be easily extended in the future where appropriate in order to minimise the need for turning heads and isolated footpaths,
- p) it incorporates, where required, access for those with mobility difficulties,
- q) it ensures there is no adverse impact on road safety, including but not limited to the site access,
- r) it provides for linkages with adjoining built up areas including public transport connections and provision for buses, and new paths and cycleways, linking where possible to the existing path network; Travel Plans will be encouraged to support more sustainable travel patterns,
- s) it incorporates adequate access and turning space for vehicles including those used for waste collection purposes.

### Greenspace, Open Space & Biodiversity

- t) It provides meaningful open space that wherever possible, links to existing open spaces and that is in accordance with current Council standards pending preparation of an up-to-date open space strategy and local standards. In some cases a developer contribution to wider neighbourhood or settlement provision may be appropriate, supported by appropriate arrangements for maintenance,
- u) it retains physical or natural features or habitats which are important to the amenity or biodiversity of the area or makes provision for adequate mitigation or replacements.

Developers are required to provide design and access statements, design briefs and landscape plans as appropriate.

## **POLICY ED7: BUSINESS, TOURISM AND LEISURE IN THE COUNTRYSIDE**

### BUSINESS, TOURISM AND LEISURE

Proposals for business, tourism or leisure development in the countryside will be approved and rural diversification initiatives will be encouraged provided that:

## List of Policies

- a) the development is to be used directly for agricultural, horticultural or forestry operations, or for uses which by their nature are appropriate to the rural character of the area; or
- b) the development is to be used directly for leisure, recreation or tourism appropriate to a countryside location and, where relevant, it is in accordance with the Scottish Borders Tourism Strategy and Action Plan;
- c) the development is to be used for other business or employment generating uses, provided that the Council is satisfied that there is an economic and/or operational need for the particular countryside location, and that it cannot be reasonably be accommodated within the Development Boundary of a settlement.

In addition the following criteria will also be considered:

- a) the development must respect the amenity and character of the surrounding area,
- b) the development must have no significant adverse impact on nearby uses, particularly housing,
- c) where a new building is proposed, the developer will be required to provide evidence that no appropriate existing building or brownfield site is available, and where conversion of an existing building of architectural merit is proposed, evidence that the building is capable of conversion without substantial demolition and rebuilding,
- d) the impact of the expansion or intensification of uses, where the use and scale of development are appropriate to the rural character of the area,
- e) the development meets all other siting, and design criteria in accordance with Policy PMD2, and
- f) the development must take account of accessibility considerations in accordance with Policy IS4.

Where a proposal comes forward for the creation of a new business including that of a tourism proposal, a business case that supports the proposal will be required to be submitted as part of the application process.

### **POLICY HD3 : PROTECTION OF RESIDENTIAL AMENITY**

Development that is judged to have an adverse impact on the amenity of existing or proposed residential areas will not be permitted. To protect the amenity and character of these areas, any developments will be assessed against:

- a) the principle of the development, including where relevant, any open space that would be lost; and
- b) the details of the development itself particularly in terms of:
  - (i) the scale, form and type of development in terms of its fit within a residential area,
  - (ii) the impact of the proposed development on the existing and surrounding properties particularly in terms of overlooking, loss of privacy and sunlighting provisions. These considerations apply especially in relation to garden ground or 'backland' development,
  - (iii) the generation of traffic or noise,
  - (iv) the level of visual impact.

### **POLICY EP3: LOCAL BIODIVERSITY**

Development that would have an unacceptable adverse effect on Borders Notable Species and Habitats of Conservation Concern will be refused unless it can be demonstrated that the public benefits of the development clearly outweigh the value of the habitat for biodiversity conservation.

## List of Policies

Any development that could impact on local biodiversity through impacts on habitats and species should:

- a) aim to avoid fragmentation or isolation of habitats; and
- b) be sited and designed to minimise adverse impacts on the biodiversity of the site, including its environmental quality, ecological status and viability; and
- c) compensate to ensure no net loss of biodiversity through use of biodiversity offsets as appropriate; and
- d) aim to enhance the biodiversity value of the site, through use of an ecosystems approach, with the aim of creation or restoration of habitats and wildlife corridors and provision for their long-term management and maintenance.

### **POLICY EP13: TREES, WOODLANDS AND HEDGEROWS**

The Council will refuse development that would cause the loss of or serious damage to the woodland resource unless the public benefits of the development clearly outweigh the loss of landscape, ecological, recreational, historical, or shelter value.

Any development that may impact on the woodland resource should:

- a) aim to minimise adverse impacts on the biodiversity value of the woodland resource, including its environmental quality, ecological status and viability; and
- b) where there is an unavoidable loss of the woodland resource, ensure appropriate replacement planting, where possible, within the area of the Scottish Borders; and
- c) adhere to any planning agreement sought to enhance the woodland resource.

### **POLICY IS7: PARKING PROVISION AND STANDARDS**

Development proposals should provide for car and cycle parking in accordance with approved standards.

Relaxation of technical standards will be considered where appropriate due to the nature of the development and/or if positive amenity gains can be demonstrated that do not compromise road safety.

In town centres where there appear to be parking difficulties, the Council will consider the desirability of seeking additional public parking provision, in the context of policies to promote the use of sustainable travel modes.

### **POLICY IS9: WASTE WATER TREATMENT STANDARDS AND SUSTAINABLE URBAN DRAINAGE**

#### **WASTE WATER TREATMENT STANDARDS**

The Council's preferred method of dealing with waste water associated with new development will be, in order of priority:

- a) direct connection to the public sewerage system, including pumping if necessary, or failing that:
- b) negotiating developer contributions with Scottish Water to upgrade the existing sewerage network and/or increasing capacity at the waste water treatment works, or failing that:
- c) agreement with Scottish Water and SEPA where required to provide permanent or temporary alternatives to sewer connection including the possibility of stand alone treatment plants until sewer capacity becomes available, or, failing that:

## List of Policies

d) for development in the countryside i.e. not within or immediately adjacent to publicly seweraged areas, the use of private sewerage treatment may be acceptable, providing it can be demonstrated that this can be delivered without any negative impacts to public health, the environment or the quality of watercourses or groundwater.

In settlements served by the public foul sewer, permission for an individual private sewage treatment system will normally be refused unless exceptional circumstances prevail and the conditions in criteria (d) above can be satisfied.

Development will be refused if:

- a) it will result in a proliferation of individual septic tanks or other private water treatment infrastructure within settlements,
- b) it will overload existing mains infrastructure or it is impractical for the developer to provide for new infrastructure.

### SUSTAINABLE URBAN DRAINAGE

Surface water management for new development, for both greenfield and brownfield sites, must comply with current best practice on sustainable urban drainage systems to the satisfaction of the council, Scottish Environment Protection Agency (where required), Scottish Natural Heritage and other interested parties where required. Development will be refused unless surface water treatment is dealt with in a sustainable manner that avoids flooding, pollution, extensive canalisation and culverting of watercourses. A drainage strategy should be submitted with planning applications to include treatment and flood attenuation measures and details for the long term maintenance of any necessary features.

### OTHER MATERIAL CONSIDERATIONS

- Scottish Planning Policy 2014
- SBC Supplementary Planning Guidance on Placemaking & Design 2010
- SBC Supplementary Planning Guidance on Landscape and Development 2008
- SBC Supplementary Planning Guidance on Biodiversity 2005
- SBC Supplementary Planning Guidance on Trees and Development 2008
- SBC Supplementary Planning Guidance on Waste Management 2015
- SBC Supplementary Planning Guidance on Privacy and Sunlight 2006
- Scottish Borders Tourism Strategy 2013-2020

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